



## SUMMARY REPORT

AmeriSpec Inspection Services  
License #450.011551; Expires, 11/30/22

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### SUMMARY

Doc #: Client Name: Carl White Jr.  
Dwelling Address: 10 Hemlock St  
Park Forest IL 60466 Inspector: Cal Ramirez

*This summary is provided as a service to assist in verifying that noted items are not in proper working order at the time of inspection. We do not have access to individual sales contracts and suggest client review sales contract with a real estate professional and/or real estate attorney to determine what repairs if any are to be made.*

***This summary is only part of the inspection report. The entire inspection report must be reviewed prior to close.***

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### Kitchen and Built-in Appliances

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#### 1.4 Ranges/Ovens/Cooktops

##### Repair or Replace

**Multiple burners are inoperable. Recommend review by a qualified appliance technician for repair or replacement as necessary.**



### Bathroom(s)

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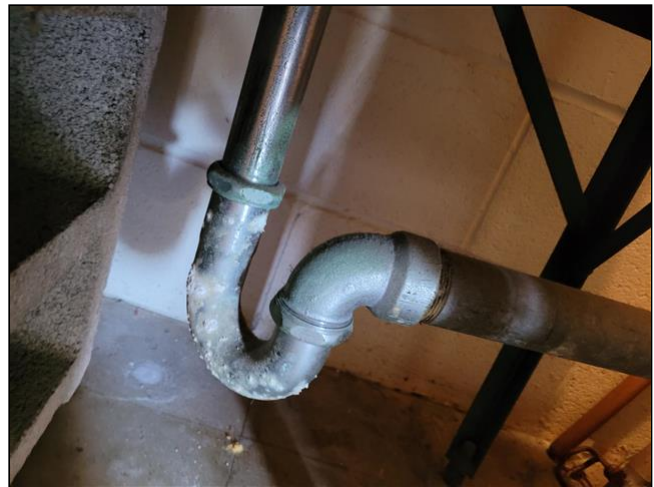
#### 2.4 Sinks

##### Repair or Replace

**(1) Low water flow observed in the multiple locations. Recommend review by Licensed/Qualified professional for repair or replacement as necessary.**



**(2) Corrosion observed at sink drain lines at multiple locations, no leaks at the time of inspection. Recommend corrections as needed.**



Mechanical Closet (basement)

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## Interior Rooms and Areas

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### 3.0 Floors

#### Repair or Replace

**(1) Popping floor tile observed in the various locations, suggest corrections to prevent further damage.**



**(2) Water damage floor observed in the various locations. No moisture noted at time of inspection, client is advised to consult with sellers for additional information prior to close.**



**(3) Asphalt Asbestos observed in the various locations, Plastic Asbestos, and Vinyl Asbestos floor tiles were sold in 6" x 6", 9" x 9" and in some years 12" x 12" sizes. Recommend review for possible removal if client is concerned.**

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## 3.1 Walls

**Repair or Replace**

**(1) Stains, discoloration, growth and/or evidence of moisture observed in the basement. These conditions may indicate mold and/or fungus growth and were discovered during the home inspection. Because certain types of mold may be toxic and result in adverse health effects, it is strongly recommended that a mold inspection be performed by a qualified professional to determine the presence of, and types of, mold in the house and that corrective measures be taken to limit moisture inside the home.**

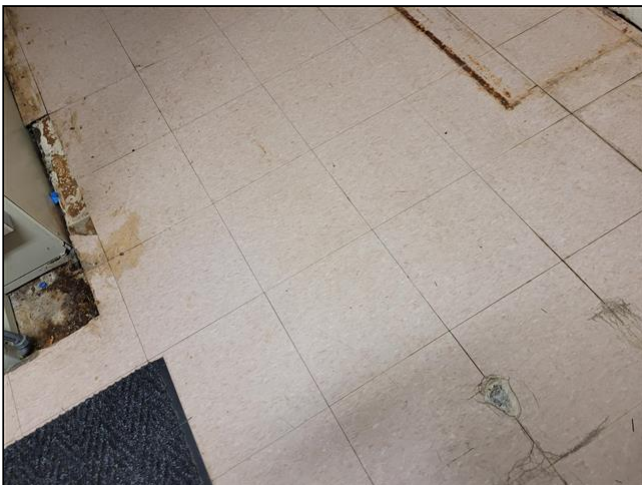


## AmeriSpec Inspection Services

**(2) Efflorescence observed in the basement. Efflorescence is a crystalline deposit appearing on cement or brick surfaces due to the evaporation of water containing soluble salts. The salts left behind on wall surface have a crystal-like appearance. Recommend review by a Licensed/Qualified professional contractor for repair or replacement as necessary.**



**(3) Evidence of water entry observed at lift, suggest consulting sellers for additional information.**



**(4) Stains observed on wall in the stairwell near main entry. An elevated level of moisture was detected using an electronic moisture meter. A qualified contractor is needed for further review and to perform necessary corrections prior to close.**



3.2 Ceilings

**Repair or Replace**

**(2) Evidence of past water penetration observed in the various locations. Recommend review sellers disclosure statement or have reviewed by licensed professional for repair or replacement as necessary.**



Basement



First Floor

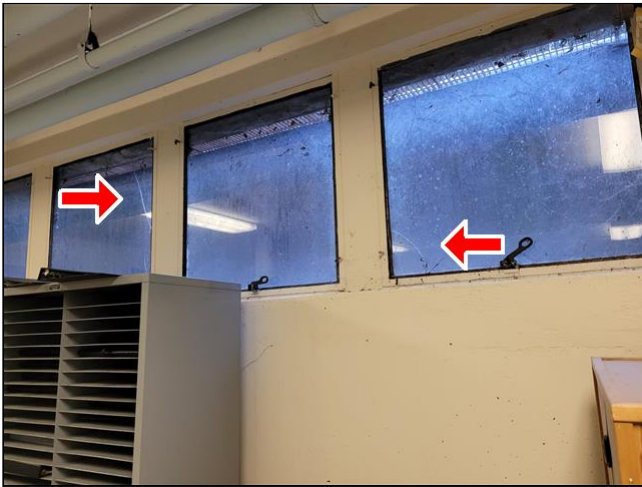
## AmeriSpec Inspection Services



## 3.4 Windows (representative number)

**Repair or Replace**

**Windows at various locations are broken. Recommend corrections for proper operation.**

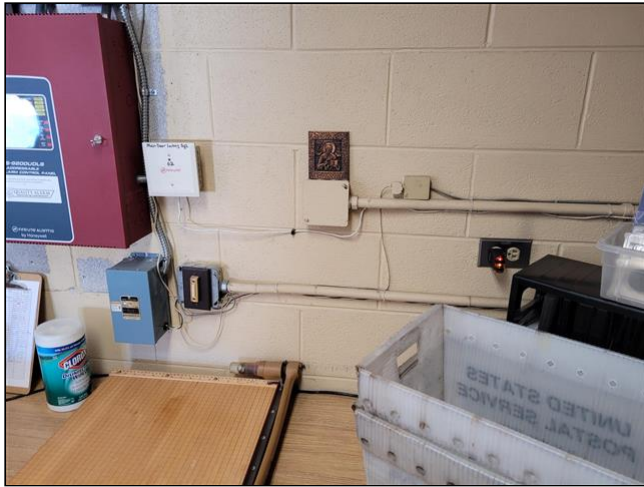


## 3.5 Receptacles, Switches and Fixtures

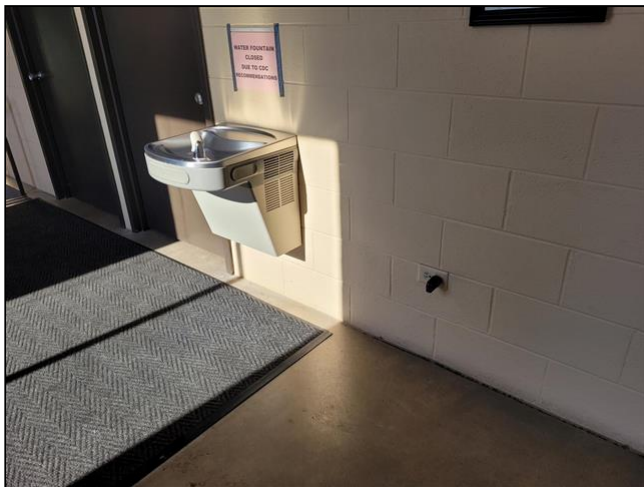
**Repair or Replace**

**(1) Multiple outlets are not wired correctly. Recommend review by a licensed/qualified electrician for repairs or replacements as needed prior to close.**

AmeriSpec Inspection Services



Main Office



Second floor

**(2) Broken prong left in wall outlet at basement, suggest corrections as needed.**





3.7 Interior Rooms and Areas Comments

**Repair or Replace**

**(1) Possible asbestos materials observed. The materials were torn, ripped, or damaged at the time of inspection. This is a possible safety hazard. Suggest further review by a licensed asbestos testing lab be performed prior to closing for repairs/replacement needed to ensure safety.**



## AmeriSpec Inspection Services



**AmeriSpec Inspection Services**  
**License #450.011551; Expires, 11/30/22**

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Doc #:		Inspector:	Cal Ramirez
Date:	2/21/2022		
Dwelling Address:	10 Hemlock St Park Forest IL 60466		
Client Name:	Carl White Jr.		
Client's Agent:		Real Estate Company:	

We attempt to give the client a comprehensive, clear-cut, unbiased view of the home. The purpose of this inspection is to identify 'MAJOR' problems associated with the property being purchased or sold, although minor items may also be mentioned. Areas, which may be of concern to us, may not be of concern to the client and some items, which may be of concern to the client, may be considered minor to us. Therefore, it is advisable to read the entire report. Where repairs or replacements are suggested, we recommend licensed professionals in that field be called upon to make those repairs. We can perform verification of repairs to ensure repairs or corrections were made and also advise the client to obtain all paperwork from professionals concerning the work performed. These professionals will be happy to provide you with written statements concerning their work. We further recommend maintaining all paperwork on repairs for future reference. FUTURE FAILURE: Items in the home can and do experience failure without prior indications. This report is a snapshot of the condition of the home at the time of inspection. We cannot determine if or when an item will experience failure. Therefore, we cannot be held responsible for future failure. Carbon monoxide and smoke detectors have been proven to save lives. Client is advised to install carbon monoxide and smoke detectors if not already present in home. Suggest consulting with your local municipality and manufacture specifications as to the proper location and installation of these units.

# TABLE OF CONTENTS

SECTION	PAGE
<a href="#">Summary.....</a>	<a href="#">1</a>
<a href="#">Cover Page.....</a>	<a href="#">10</a>
<a href="#">Table of Contents.....</a>	<a href="#">11</a>
<a href="#">Intro Page.....</a>	<a href="#">12</a>
<a href="#">1 Kitchen and Built-in Appliances .....</a>	<a href="#">14</a>
<a href="#">2 Bathroom(s).....</a>	<a href="#">17</a>
<a href="#">3 Interior Rooms and Areas.....</a>	<a href="#">19</a>

## **GENERAL INFORMATION**

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## **DEFINITION OF TERMS**

Please take the time to analyze the following pages contained herein. This is your complete inspection report and must be reviewed carefully. Below is an index of the ratings used in this report.

**SERVICEABLE (S)** = The items inspected appeared to function normally at time of inspection.

**Not Applicable (N/A)** = The item(s) do not apply to this property.

**NOT PRESENT (NP)** = The item was not present at the time of inspection.

**NOT INSPECTED (NI)** = The item was not inspected due to inaccessibility, personal items, temperature, weather conditions or the item is not within the scope of the inspection.

**NOT OPERATED (NO)** = The system or component was not operated due inaccessibility, temperature, weather conditions or the item is not within the scope of the inspection.

**REPAIR / REPLACE (RR)** = The item was inspected and found to have deficiencies, was operating or installed incorrectly, is a possible health, fire, safety concern or in the inspector's opinion at or near the end of its useful life. Items with the heading 'Repair / Replace' will appear in the 'Summary Report'.

## **GENERAL CONDITIONS**

Type of building:	Commercial Property
In Attendance:	Client representative
Temperature:	20 degrees (F)
Weather:	Clear
Ground/Soil surface condition:	Frozen, Snow
Rain in last 3 days:	No
Start Time:	Start Time: 10:00 AM
Finish Time:	Finish Time: 12:30 PM

## Kitchen and Built-in Appliances

*Our kitchen appliance inspection is visual and operational in nature of the built-in appliances only. Cooking systems are checked for burner operation but not for calibration, timers, special features or cleaning cycles. Built-in dishwashers are run through a full normal wash cycle to determine if the system is free of leaks and excessive corrosion. Please double-check appliance operation just before closing and re-check for secure cabinets, counters and appliances. Upon occupancy, the client should secure any freestanding oven so it cannot tilt forward when weight is applied to the door. (Most ovens come with directions on how to do this.) Individuals have been injured when sitting on or standing on these doors. Clients are advised to purchase a home protection plan because appliances, including new appliances, can fail at any time, including immediately after the inspection. Older appliances (five years or older), of course, are more prone to failure.*

Step #	Component	Comment
1.0	Floors	<b>Serviceable.</b> Asphalt Asbestos observed in the kitchen, Plastic Asbestos, and Vinyl Asbestos floor tiles were sold in 6"x6", 9" x 9" and in some years 12" x 12" sizes. Recommend review for possible removal if client is concerned.



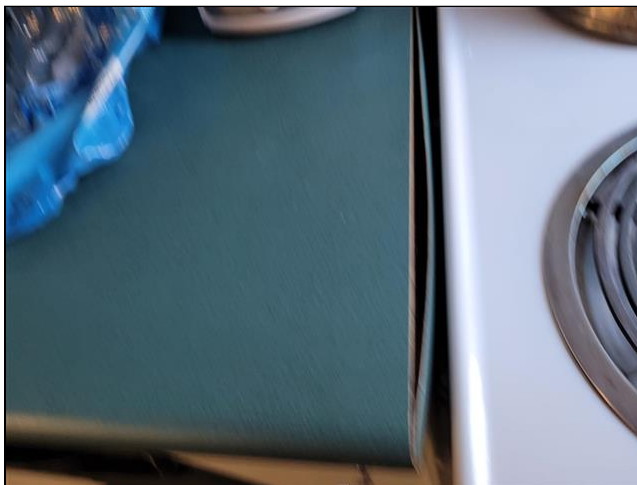
1.1	Walls	<b>Serviceable.</b>
1.2	Ceiling	<b>Serviceable.</b>

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- 1.3 (1) Counters and Cabinets **Comment. Drawers are damaged; corrections needed for proper and smooth operation.**  
(representative number)



- 1.3 (2) Counters and Cabinets **Comment. Loose laminate touching stove observed at first floor kitchen, suggest corrections as needed.**  
(representative number)



## AmeriSpec Inspection Services

1.4 Ranges/Ovens/  
Cooktops

**Repair or Replace. Multiple burners are inoperable. Recommend review by a qualified appliance technician for repair or replacement as necessary.**



1.5 Range Hood(s)

**Comment. Did not operate Range Hood due to not being able to find the controller, suggest consulting seller for additional information.**



## Bathroom(s)

*Our focus in bathrooms is directed at identifying visible water damage and/or problems. We may not always mention common faults such as stuck stoppers or dripping faucets. If considered important, you should check these items independently. Shut-off valves and angle stops under kitchen or bathroom sinks and toilets are not turned or tested during the inspection due to the possibility of causing a leak. All shut-off valves or angle stops should be turned regularly by the homeowner to ensure free movement in case of emergency. Bathrooms require regular maintenance to prevent the possibility of water damage and maintenance should be performed without delay. Since leaks can occur at any time, plumbing should be checked just before closing and then regularly during occupancy. We advise that all floors, tile edges and tub/shower walls be caulked and sealed to prevent moisture penetration. When found soft, you should have checked for leaks and hidden damage. All leaks should be repaired and missing/damaged grouting and caulk should be replaced at once to help prevent future/further damage. Even tile that appears to be in good shape can take on water, so we suggest that you apply a sealant to tiled surfaces upon occupancy. If sluggish or noisy drains are noted, the drain waste vent system should be checked for blockage, damage or other restriction before close. Operating an exterior vented exhaust fan helps to reduce the chances of mold growth and harmful condensation.*

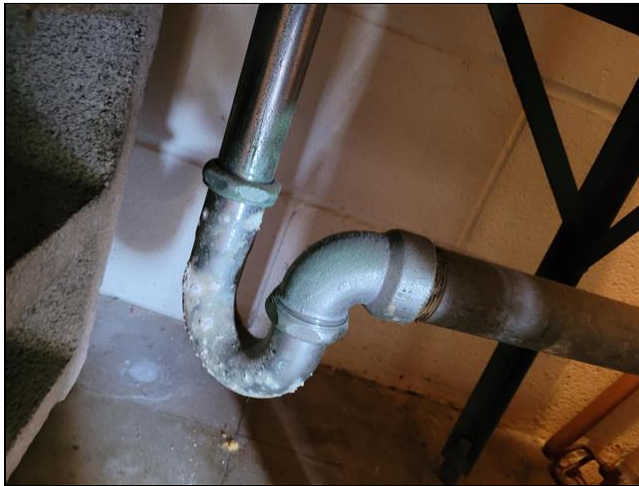
Step #	Component	Comment
2.0	Floors	Serviceable.
2.1	Walls	Serviceable.
2.2	Ceiling	Serviceable.
2.3	Doors	Serviceable.
2.4 (1)	Sinks	<b>Repair or Replace. Low water flow observed in the multiple locations. Recommend review by Licensed/Qualified professional for repair or replacement as necessary.</b>



## AmeriSpec Inspection Services

## 2.4 (2) Sinks

**Repair or Replace. Corrosion observed at sink drain lines at multiple locations, no leaks at the time of inspection. Recommend corrections as needed.**



Mechanical Closet (basement)

## AmeriSpec Inspection Services

- 2.5 Toilet **Comment. Multiple toilets were labeled out of order at time of inspection. Client is advised to confirm operation, or have reviewed by a licensed/qualified electrician for repairs or replacements as needed prior to close.**



- 2.6 Counters and Cabinets **Serviceable.**
- 2.7 (1) Bathroom Comments **Comment. Locked bathroom stall at basement bathroom, suggest corrections as needed.**
- 2.7 (2) Bathroom Comments **Comment. Rust observed at multiple bathroom stall partitions, suggest corrections as needed.**

## Interior Rooms and Areas

*Our interior review is visual and evaluated with similar aged homes in mind. Cosmetic considerations and minor flaws such as a torn screen or an occasional cracked window can be overlooked, thus we suggest you double check these items, if concerned. Inspections are limited to visible and/or accessible areas. Personal belongings and furniture restrict access to receptacles, windows, walls, and flooring.*

**Floor Covering(s):**

Carpet, Hardwood T&G,  
Unfinished

**Window Type(s):**

Fixed

Step #	Component	Comment
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## AmeriSpec Inspection Services

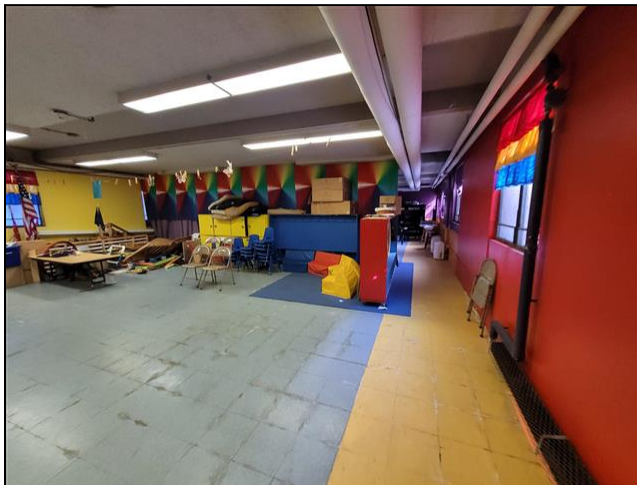
## 3.0 (1) Floors

**Repair or Replace. Popping floor tile observed in the various locations, suggest corrections to prevent further damage.**



## 3.0 (2) Floors

**Repair or Replace. Water damage floor observed in the various locations. No moisture noted at time of inspection, client is advised to consult with sellers for additional information prior to close.**



## 3.0 (3) Floors

**Repair or Replace. Asphalt Asbestos observed in the various locations, Plastic Asbestos, and Vinyl Asbestos floor tiles were sold in**

## AmeriSpec Inspection Services

**6"x6", 9" x 9" and in some years 12" x 12" sizes. Recommend review for possible removal if client is concerned.**



3.1 (1) Walls

**Repair or Replace. Stains, discoloration, growth and/or evidence of moisture observed in the basement. These conditions may indicate mold and/or fungus growth and were discovered during the home inspection. Because certain types of mold may be toxic and result in adverse health effects, it is strongly recommended that a mold inspection be performed by a qualified professional to determine the**

## AmeriSpec Inspection Services

**presence of, and types of, mold in the house and that corrective measures be taken to limit moisture inside the home.**



3.1 (2) Walls

**Repair or Replace. Efflorescence observed in the basement. Efflorescence is a crystalline deposit appearing on cement or brick surfaces due to the evaporation of water containing soluble salts. The salts left behind on wall surface have a crystal-like appearance. Recommend review by a Licensed/Qualified professional contractor for repair or replacement as necessary.**



3.1 (3) Walls

**Repair or Replace. Evidence of water entry observed at lift, suggest consulting sellers for additional information.**



## AmeriSpec Inspection Services

## 3.1 (4) Walls

**Repair or Replace. Stains observed on wall in the stairwell near main entry. An elevated level of moisture was detected using an electronic moisture meter. A qualified contractor is needed for further review and to perform necessary corrections prior to close.**

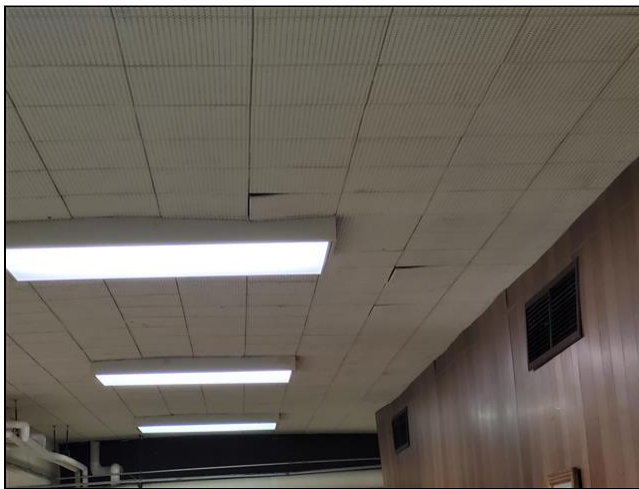




AmeriSpec Inspection Services

3.2 (1) Ceilings

**Repair or Replace. Loose/hanging ceiling tiles observed at multiple areas, suggest corrections as needed.**



3.2 (2) Ceilings

**Repair or Replace. Evidence of past water penetration observed in the various locations. Recommend review sellers disclosure statement or have reviewed by licensed professional for repair or replacement as necessary.**



Basement



First Floor



## AmeriSpec Inspection Services

- 3.3 (1) Doors (representative number) **Comment. The basement stairwell door does not latch properly; suggest repairs/adjustments for proper operation.**



- 3.3 (2) Doors (representative number) **Comment. The door in the various locations rubs the jamb, adjustments are needed for smooth operation.**



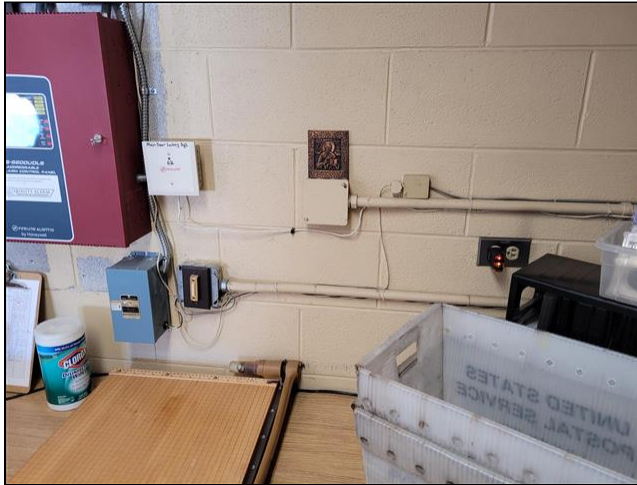
3.4 Windows  
(representative  
number)

**Repair or Replace. Windows at various locations are broken.  
Recommend corrections for proper operation.**



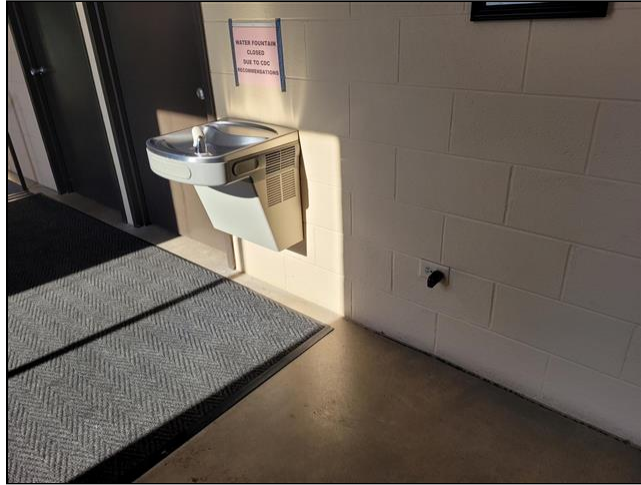
## AmeriSpec Inspection Services

- 3.5 (1) Receptacles, Switches and Fixtures **Repair or Replace. Multiple outlets are not wired correctly. Recommend review by a licensed/qualified electrician for repairs or replacements as needed prior to close.**



Main Office





Second floor

AmeriSpec Inspection Services

3.5 (2) Receptacles, Switches and Fixtures **Repair or Replace. Broken prong left in wall outlet at basement, suggest corrections as needed.**



3.6 Stairways **Serviceable.**

## AmeriSpec Inspection Services

## 3.7 (1) Interior Rooms and Areas Comments

**Repair or Replace. Possible asbestos materials observed. The materials were torn, ripped, or damaged at the time of inspection. This is a possible safety hazard. Suggest further review by a licensed asbestos testing lab be performed prior to closing for repairs/ replacement needed to ensure safety.**



## 3.7 (2) Interior Rooms and Areas Comments

**Repair or Replace. Possible asbestos materials observed. The materials appeared to be intact at the time of inspection. Asbestos materials are considered safe by the EPA if they are not disturbed,**



## AmeriSpec Inspection Services

**torn, ripped, or damaged. No torn, ripped, or damaged materials were observed. If client has any concerns regarding asbestos materials, an asbestos testing lab should be consulted for further review to ensure safety.**



## Summary



AmeriSpec

6 E MONROE STREET  
SUITE 400  
CHICAGO, IL 60603

**Customer**  
Carl White Jr

**Address**  
10 Hemlock Street  
Park Forest IL 60466

*This summary is provided as a service to assist in verifying that noted items are not in proper working order at the time of inspection. We do not have access to individual sales contracts and suggest client review sales contract with a real estate professional and/or real estate attorney to determine what repairs if any are to be made.*

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### Exterior

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1.1 Walkways

**Repair or Replace**

**(1) Limited review of the walkways due to snow and ice, suggest confirm condition prior to close if weather permits.**

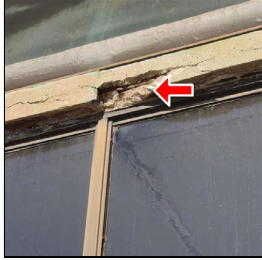
**(2) Walkway cracking and surface deterioration observed at the north building east side, recommend regular maintenance and repairs to prolong the useful life of the surface.**



1.1 Item 1(Picture) Damaged concrete at the retaining wall walkway

1.2 Exterior Wall Cladding  
**Repair or Replace**

(1) Spalling concrete, evidence of concrete failure, observed at multiple locations. Recommend review for repair or replacement as necessary.



1.2 Item 1(Picture) Missing section of concrete over a window at middle building east elevation

(2) Caulking should be applied around all windows, doors, and any voids where necessary.

1.3 Trim, Eaves, Soffits and Fascias  
**Repair or Replace**

(1) Damaged/deteriorated trim observed at the middle building, east entry soffit and north building north entry soffit. Recommend repairs to prevent further damage.



1.3 Item 1(Picture) Wood soffit is damaged, wood is bowing



1.3 Item 2(Picture) Soffit panels are rusted at the north building main entrance

(2) Wood deterioration observed at south building, south side. Wood siding has failed, decorative eaves are warped. Suggest repairs/replacement as needed.



1.3 Item 3(Picture) A siding panel is detached from the wall



1.3 Item 4(Picture) Decorative eaves are bowed

1.4 Windows & Frames  
**Repair or Replace**

(1) Peeling paint observed at multiple areas at east side of north and middle building; suggest scraping and painting as necessary as part of normal maintenance.

(2) Wood deterioration observed at south building north and south elevation . Suggest repairs/replacement as needed.



1.4 Item 1(Picture) Wood sill is damaged at south building

**(3) Moisture damaged trim and/or sill observed at multiple areas. The extent of damage could not be determined without destructive analysis (maintenance and/or repairs should be performed).**



1.4 Item 2(Picture) A view of sill damage at middle building window

**(4) Broken/damaged window observed at multiple locations. Recommend review for repair or replacement as necessary.**

1.7 Electrical (exterior)

**Repair or Replace**

**(1) The outside receptacle cover at the north building, north side to right of entry doors is damaged and needs repair or replacement.**

**(2) Damaged light fixtures observed at north lawn of north building; recommend review by qualified electrician for repairs/corrections as needed.**



1.7 Item 1(Picture) Exposed wiring at damaged ground spot light fixture

**(3) Not all receptacles are ground fault circuit interrupter (GFCI) protected. This may not have been required when structure was built; client is advised to install ground fault circuit interrupter outlets as a safety enhancement.**

1.9 Exterior Water Faucets

**Repair or Replace**

**The faucet located at the south building, west elevation exterior is inoperable. Additionally, the piping for this fixture is galvanized steel and is prone to rupture in cold temperatures. Review by licensed plumber is needed for repairs/corrections.**

1.18 Retaining Walls

**Repair or Replace**

**We were unable to determine if retaining walls at the north building, east elevation are properly engineered or were permitted when constructed. Buyer should obtain additional information from seller/local building authorities prior to closing.**

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## Structural Components

5.1 Foundation, Basement and Crawlspace

**Repair or Replace**

**(1) An area of dirt wall beneath the foundation wall at the crawlspace has been removed. The inspector can not determine if the dirt collapsed, or if it was dug out. A licensed structural engineer will need to further review and recommend necessary repairs.**



5.1 Item 1(Picture) Dirt and concrete id observed out of place creating the void in the background

**(2) Dirt and debris needs removing from the storage room at the south building basement.**



5.1 Item 2(Picture) A view of the dirt covering the floor at the basement storage room at south building

**(3) Standing water observed on the floor in the south building basement mechanical room. Seepage was observed at the base of the foundation walls. Suggest review for corrections as needed by licensed contractor.**

5.3 Walls (Basement and Crawlspace)

**Repair or Replace**

**(1) The exterior wall (west) at the south building basement stairwell, leading to the storage room and crawlspace is bowing and running water was observed. A licensed structural engineer will need to further review and recommend necessary repairs.**



5.3 Item 1(Picture) Running water was observed at this crack

**(2) Stress cracking observed in the wall located at the south building basement stairway and storage room. This is an indication that previous settlement has occurred at this location. Inspector is unable to determine when settlement occurred or if additional settlement is likely. Suggest consulting with a structural engineer for corrections.**



5.3 Item 2(Picture) A view of the failed crack repair at the basement foundation wall



5.3 Item 3(Picture) A view of the same crack at the interior storage room

5.11 Insulation Under Floor System

**Not Present**

**(1) The floor system in the crawlspace of the south building is not insulated. Heat loss can occur more on this structure than one that is properly insulated.**

**(2) While asbestos detection and other environmental analysis are beyond the scope of our inspection, our experience suggests that pipe wrap material in the crawlspace and some basement areas may contain asbestos. The only way to confirm its presence is through laboratory analysis by a qualified EPA listed contractor. The EPA and American Lung Association can provide information on the maintenance or removal of asbestos containing products.**

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**Plumbing System**

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6.3 Plumbing Comments

**Serviceable**

**Plumbing system and its servicing components, including pumps and water heaters must be inspected and certified by The Village of Park Forest, or a village approved and qualified plumbing professional prior to sale or transfer.**

**Obvious issues observed during inspection include, but aren't limited too:**

**Non-operable sump pump at south building basement storage closet (off outside stairwell leading to basement)**

**Non-freeze proof water spigots at exterior**

**Galvanized steel water pipe exposed to the exterior**

**Busted water pipe at south elevation basement stairway**

**Corroded and leaking plumbing controls and pipe connections**

**Exterior drains clogged with debris, covers are missing at lower level of north building east side**

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**Heating System**

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8.0 Heating Equipment Condition

**Not Inspected**

**Heating and cooling system and its distribution components must be inspected and certified by The Village of Park Forest, or a village approved and qualified professional prior to sale or transfer.**

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AmeriSpec  
6 E MONROE STREET  
SUITE 400  
CHICAGO, IL 60603

Doc #:		Inspector:	Harry Smith
Date:	2/21/2022		
Dwelling Address:	10 Hemlock Street Park Forest IL 60466		
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## Table of Contents

[Summary](#)

[Cover Page](#)

[Table of Contents](#)

[Intro Page](#)

[1 Exterior](#)

[5 Structural Components](#)

[6 Plumbing System](#)

[7 Electrical System](#)

[8 Heating System](#)

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**NOT INSPECTED (NI)** = The item was not inspected due to inaccessibility, personal items, temperature, weather conditions or the item is not within the scope of the inspection.

**NOT OPERATED (NO)** = The system or component was not operated due inaccessibility, temperature, weather conditions or the item is not within the scope of the inspection.

**REPAIR / REPLACE (RR)** = The item was inspected and found to have deficiencies, was operating or installed incorrectly, is a possible health, fire, safety concern or in the inspector's opinion at or near the end of its useful life. Items with the heading 'Repair / Replace' will appear in the 'Summary Report'.

**GENERAL CONDITIONS**




Type of building:	Commercial (Church)
In Attendance:	Inspectors and Building Secretary
Temperature:	Below 20 degrees (F)
Weather:	Clear
Ground/Soil surface condition:	Frozen
Rain in last 3 days:	No

HomeGauge SOFTWARE FOR EVALUATION USE ONLY! TO PURCHASE CONTACT: [HomeGauge.com](http://HomeGauge.com)

## Exterior

*Our exterior evaluation is visual in nature and is based on our experience and understanding of common building methods and materials. Our review does not take into consideration the normal wear associated with virtually all properties. Exterior surfaces should be kept well painted, stained or sealed to prevent deterioration. Grading & adjacent surfaces should be maintained and pitched away from the foundation to reduce the chances of water infiltration.*

<b>Driveway:</b> Asphalt  <b>Exterior Entry Doors:</b> Steel	<b>Walkways:</b> Concrete	<b>Exterior Wall Cladding:</b> Stone
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Step #	Component	Comment
1.1 (1)	Walkways	<b>Repair or Replace.</b> Limited review of the walkways due to snow and ice, suggest confirm condition prior to close if weather permits.
1.1 (2)	Walkways	<b>Repair or Replace.</b> Walkway cracking and surface deterioration observed at the north building east side, recommend regular maintenance and repairs to prolong the useful life of the surface.   <p>1.1 Item 1(Picture) Damaged concrete at the retaining wall walkway</p>
1.2 (1)	Exterior Wall Cladding	<b>Repair or Replace.</b> Spalling concrete, evidence of concrete failure, observed at multiple locations. Recommend review for repair or replacement as necessary.   <p>1.2 Item 1(Picture) Missing section of concrete over a window at middle building east elevation</p>
1.2 (2)	Exterior Wall Cladding	<b>Repair or Replace.</b> Caulking should be applied around all windows, doors, and any voids where necessary.
1.3 (1)	Trim, Eaves, Soffits and Fascias	<b>Repair or Replace.</b> Damaged/deteriorated trim observed at the middle building, east entry soffit and north building north entry soffit. Recommend repairs to prevent further damage.   <p>1.3 Item 1(Picture) Wood soffit is damaged, wood is bowing</p> <p>1.3 Item 2(Picture) Soffit panels are rusted at the north building main entrance</p>
1.3 (2)	Trim, Eaves, Soffits and Fascias	<b>Repair or Replace.</b> Wood deterioration observed at south building, south side. Wood siding has failed, decorative eaves are warped. Suggest repairs/replacement as needed.



1.3 Item 3(Picture) A siding panel is detached from the wall



1.3 Item 4(Picture) Decorative eaves are bowed

1.4 (1) Windows & Frames **Repair or Replace. Peeling paint observed at multiple areas at east side of north and middle building; suggest scraping and painting as necessary as part of normal maintenance.**

1.4 (2) Windows & Frames **Repair or Replace. Wood deterioration observed at south building north and south elevation . Suggest repairs/replacement as needed.**



1.4 Item 1(Picture) Wood sill is damaged at south building

1.4 (3) Windows & Frames **Repair or Replace. Moisture damaged trim and/or sill observed at multiple areas. The extent of damage could not be determined without destructive analysis (maintenance and/or repairs should be performed).**



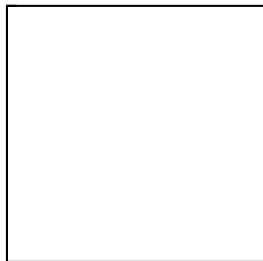
1.4 Item 2(Picture) A view of sill damage at middle building window

1.4 (4) Windows & Frames **Repair or Replace. Broken/damaged window observed at multiple locations. Recommend review for repair or replacement as necessary.**

1.5 Doors (Exterior) **Serviceable.**

1.7 (1) Electrical (exterior) **Repair or Replace. The outside receptacle cover at the north building, north side to right of entry doors is damaged and needs repair or replacement.**

1.7 (2) Electrical (exterior) **Repair or Replace. Damaged light fixtures observed at north lawn of north building; recommend review by qualified electrician for repairs/corrections as needed.**



1.7 Item 1(Picture) Exposed wiring at damaged ground spot light fixture

1.7 (3) Electrical (exterior) **Repair or Replace. Not all receptacles are ground fault circuit interrupter (GFCI) protected. This may not have been required when structure was built; client is advised to install ground fault circuit interrupter outlets as a safety enhancement.**

1.8 Gas Meter **Serviceable.**

1.9 Exterior Water Faucets

**Repair or Replace.** The faucet located at the south building, west elevation exterior is inoperable. Additionally, the piping for this fixture is galvanized steel and is prone to rupture in cold temperatures. Review by licensed plumber is needed for repairs/corrections.

- 1.11 Lot Grade and Drainage
- 1.12 Stairs and Steps
- 1.18 Retaining Walls

**Not Inspected.**

**Serviceable.**

**Repair or Replace.** We were unable to determine if retaining walls at the north building, east elevation are properly engineered or were permitted when constructed. Buyer should obtain additional information from seller/local building authorities prior to closing.

## Structural Components

*Any below-grade space can leak, even areas that have been dry in prior years. While we look for evidence of leaking, we may not be able to determine if leaks exist or existed and cannot predict future water infiltration. Some water activity occurs only under certain circumstances and can only be identified at the actual time of occurrence. We suggest that you obtain disclosure from the prior occupants regarding any history of water in the basement and obtain price estimates when infiltration is disclosed or signs of water are present. We cannot certify the basement against future water infiltration. Some thin cracking of walls and floors is common and whenever cracks are present, a possibility of future leaking exists. Most wall cracks are relatively easy to repair from the inside. Cracks should be monitored for future seepage or change in the size of the cracks, which would indicate a need for further evaluation. Back-up sump systems are advised to reduce the opportunity for flooding during a power outage or main pump failure. The chance of leakage increases when adjacent surfaces are not pitched away from the home and when roof drainage is within several feet of the foundation. These issues should be addressed as soon as possible. Signs of possible water infiltration include mold/mildew, stains on walls, loose flooring, musty odors, warped paneling and efflorescence. If freshly painted walls are present, we suggest you inquire of the seller/occupants if any staining or other leak evidence existed before painting.*

<b>Foundation Type:</b> Poured Concrete	<b>Floor Structure:</b> 2 X12 Wood Joists	<b>Wall Structure:</b> Masonry Walls
<b>Ceiling Structure:</b> Not Visable	<b>Method Used To Inspect Crawlspace:</b> Walked, Limited Access	<b>Floor System Insulation:</b> NONE

Step #	Component	Comment
5.1 (1)	Foundation, Basement and Crawlspace	<b>Repair or Replace.</b> An area of dirt wall beneath the foundation wall at the crawlspace has been removed. The inspector can not determine if the dirt collapsed, or if it was dug out. A licensed structural engineer will need to further review and recommend necessary repairs.



5.1 Item 1(Picture) Dirt and concrete id observed out of place creating the void in the background

5.1 (2)	Foundation, Basement and Crawlspace	<b>Repair or Replace.</b> Dirt and debris needs removing from the storage room at the south building basement.
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5.1 Item 2(Picture) A view of the dirt covering the floor at the basement storage room at south building

5.1 (3)	Foundation, Basement and Crawlspace	<b>Repair or Replace.</b> Standing water observed on the floor in the south building basement mechanical room. Seepage was observed at the base of the foundation walls. Suggest review for corrections as needed by licensed contractor.
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5.3 (1)	Walls (Basement and Crawlspace)	<b>Repair or Replace.</b> The exterior wall (west) at the south building basement stairwell, leading to the storage room and crawlspace is bowing and running water was observed. A licensed structural engineer will need to further review and recommend necessary repairs.
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5.3 Item 1(Picture) Running water was observed at this crack

5.3 (2)	Walls (Basement and Crawlspace)	
---------	---------------------------------	--

**Repair or Replace.** Stress cracking observed in the wall located at the south building basement stairway and storage room. This is an indication that previous settlement has occurred at this location. Inspector is unable to determine when settlement occurred or if additional settlement is likely. Suggest consulting with a structural engineer for corrections.



5.3 Item 2(Picture) A view of the failed crack repair at the basement foundation wall



5.3 Item 3(Picture) A view of the same crack at the interior storage room

- 5.5 Columns or Piers (Basement and Crawlspace) **Serviceable.**
- 5.6 Joists (Basement and Crawlspace) **Serviceable.**
- 5.7 Beams (Basement and Crawlspace) **Serviceable.**
- 5.11 (1) Insulation Under Floor System **Not Present. The floor system in the crawlspace of the south building is not insulated. Heat loss can occur more on this structure than one that is properly insulated.**
- 5.11 (2) Insulation Under Floor System **Not Present. While asbestos detection and other environmental analysis are beyond the scope of our inspection, our experience suggests that pipe wrap material in the crawlspace and some basement areas may contain asbestos. The only way to confirm its presence is through laboratory analysis by a qualified EPA listed contractor. The EPA and American Lung Association can provide information on the maintenance or removal of asbestos containing products.**
- 5.12 Vapor Retarders (Crawlspace) **Not Present. No moisture barrier observed in the crawlspace area of the south building. Moisture barriers may not have been required at the time the home was built. We suggest a complete review of the crawlspace by a qualified contractor prior to closing for possible installation of a moisture barrier to prevent any future/further damage/deterioration to the structure and to ensure a dry clean crawlspace.**

## Plumbing System

*Our focus in the plumbing portion of the inspection is directed at identifying visible water damage and/or problems. We may not always mention common faults such as stuck stoppers or dripping faucets. If considered important, you should check these items independently. Shut-off valves and angle stops under the kitchen or bathroom sinks and toilets are not turned or tested during the inspection due to the possibility of leaking. All shut-off valves or angle stops should be turned regularly to ensure free movement in case of emergency. The water supply system was tested for its ability to deliver functional water pressure to installed plumbing fixtures and the condition of connected piping that was visible. Our plumbing inspection also consists of checking for functional drainage at all fixtures. We suggest you obtain the maintenance history for the home's plumbing and obtain receipts for any recent work or for anything for which a warranty may apply.*

**Water Source (To Home):**

Public

**Water Shut Off Location:**

Basement, Utility Room - *Extra Info: Utility closet at south building to the right of the mechanical room*

Step #	Component	Comment
6.3	Plumbing Comments	<b>Serviceable. Plumbing system and its servicing components, including pumps and water heaters must be inspected and certified by The Village of Park Forest, or a village approved and qualified plumbing professional prior to sale or transfer.</b>

**Obvious issues observed during inspection include, but aren't limited too:**

**Non-operable sump pump at south building basement storage closet (off outside stairwell leading to basement)**

**Non-freeze proof water spigots at exterior**

**Galvanized steel water pipe exposed to the exterior**

**Busted water pipe at south elevation basement stairway**

**Corroded and leaking plumbing controls and pipe connections**

**Exterior drains clogged with debris, covers are missing at lower level of north building east side**



## Electrical System

*Our electrical inspection meets the ASHI standard of practice and is done by sampling visibly accessible wiring and fixtures. Determining the actual capacity of the system requires load calculations, which are not within the scope of this report. Underground circuits and concealed components of the system are not inspected. While age is one factor, most homes have electrical issues created by amateur electricians. We do not move belongings and do not examine every fixture, outlet, wiring run, etc., nor do we remove insulation, or wall coverings. Covers are not removed, with the exception of the cover of the main electrical panel, when this can be done safely and without risking damage to finish. Much of the wiring in the home is not visible and not reviewed. Once the current occupant's belongings have been removed, it's a good idea to check all outlets with a tester and to look inside cabinets, closets and other obstructed areas before moving in your own belongings. We use a standard electrical tester to check a sample of outlets. While the tester is generally reliable, it can be fooled by certain improper wiring practices, which we cannot detect during a general home inspection. Because electrical defects are safety concerns, we advise the use of a qualified licensed electrician for cost estimates, repairs and upgrades, prior to close.*

**Main Electrical Panel Location:**

Utility Room - *Extra Info: Electrical mains are at the mechanical rooms of the north and south buildings*

**Equipment Grounding Present:**

Unable to Determine Grounding

**Electrical Main Service:**

Underground

**Service Amperage:**

200 AMPS - *Extra Info: Main service is 600 Amps with 200 Amp sub panels*

**Panel Type:**

Breakers

**Branch Wiring Type:**

Copper

**Wiring Methods:**

Conduit

Step #	Component	Comment
7.0	Electrical Main Service	<b>Serviceable.</b>
7.1	Equipment Grounding	<b>Serviceable.</b>
7.2	Main Electrical Panel Condition	<b>Serviceable.</b>
7.3	Electrical Sub Panel Condition	<b>Serviceable.</b>

## Heating System

*Our evaluation of heating system(s) is both visual and functional provided power and/or fuel is supplied to the component. Items not listed here as well as things we cannot see, such as utilities, drains, and ducts inside walls, floors and underground are beyond the scope of this inspection. **DISMANTLING AND/OR EXTENSIVE INSPECTION OF INTERNAL COMPONENTS OF ANY APPLIANCE, INCLUDING HEATERS AND HEAT EXCHANGERS, IS BEYOND THE SCOPE OF THIS REPORT. THE LOCAL UTILITY COMPANY MAY CONDUCT SUCH AN INSPECTION UPON REQUEST.** Our inspection is not a heat engineering or sufficiency review. We suggest you ask the sellers/occupants if any areas of the home do not properly heat or cool. We also suggest you obtain the maintenance history of the furnace as well as receipts for any recent repairs for which a warranty might apply. Clients are encouraged to purchase a home warranty plan, since furnaces can require repair or replacement at any time. Modern furnaces are complicated appliances and should be treated with care. Regular cleaning or replacement of furnace filters is vital to the health of your furnace and can improve the efficiency of attached central air conditioning. We suggest an annual cleaning and safety check by a licensed contractor who is trained in this furnace model. Flammable products should be stored away from the furnace and no fume-producing products such as paint cans should be in the same room. Don't forget that fuel-burning appliances need plenty of oxygen and should not be enclosed without supplying an adequate supply of combustion air. Identifying or testing for the presence of asbestos or other potentially hazardous materials is not within the scope of this report.*

<b>Number of Heating Systems:</b> Four	<b>Heating Unit Location(s):</b> Basement - Extra Info: 3 Boilers at South Building Basement; 1 Heat Pump at Sanctuary Building Basement	<b>Heating System Type(s):</b> Heat Pump Forced Air (also provides cool air), Circulating Boiler
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Step #	Component	Comment
8.0	Heating Equipment Condition	<b>Not Inspected. Heating and cooling system and its distribution components must be inspected and certified by The Village of Park Forest, or a village approved and qualified professional prior to sale or transfer.</b>



INSPECTION REPORT  
10 Hemlock St  
Park Forest Illinois 60466

INSPECTED BY  
Inspector Jay  
Rogers  
450.010430

INSPECTION DATE  
📅 2/20/2022  
🕒 08:00 AM

02/19/2022 09:55

## Table of Contents

<a href="#">Cover Page.....</a>	<a href="#">1</a>
<a href="#">Table of Contents.....</a>	<a href="#">2</a>
<a href="#">Intro Page .....</a>	<a href="#">3</a>
<a href="#">1 Roof System / Chimneys and Attic .....</a>	<a href="#">4</a>
<a href="#">2 Exterior.....</a>	<a href="#">5</a>
<a href="#">Summary.....</a>	<a href="#">11</a>

**General Info**

**Property Address**

10 Hemlock St  
Park Forest Illinois 60466

**Date of Inspection**

2/20/2022

**Report ID**

**Customer(s)**

**Time of Inspection**

08:00 AM

**Real Estate Agent**

**Inspection Details**

**In Attendance:**

Seller

**Type of building:**

Commercial

**Approximate age of building:**

Over 25 Years

**Temperature:**

Below 65 (F) = 18 (C)

**Weather:**

Snow

**Ground/Soil surface condition:**

Frozen

**Rain in last 3 days:**

No

**Radon Test:**

No

**Water Test:**

No

**Comment Key & Definitions**

**Comment Key or Definitions**

The following definitions of comment descriptions represent this inspection report. All comments by the inspector should be considered before purchasing this home. Any recommendations by the inspector to repair or replace suggests a second opinion or further inspection by a qualified contractor. All costs associated with further inspection fees and repair or replacement of item, component or unit should be considered before you purchase the property.

**Inspected (IN)** = I visually observed the item, component or unit and if no other comments were made then it appeared to be functioning as intended allowing for normal wear and tear.

**Not Inspected (NI)** = I did not inspect this item, component or unit and made no representations of whether or not it was functioning as intended and will state a reason for not inspecting.

**Not Present (NP)** = This item, component or unit is not in this home or building.

**Repair or Replace** = The item, component or unit is not functioning as intended, or needs further inspection by a qualified contractor. Items, components or units that can be repaired to satisfactory condition may not need replacement.

**1. Roof System / Chimneys and Attic**

The home inspector shall observe: Roof covering; Roof drainage systems; Flashings; Skylights, chimneys, and roof penetrations; and Signs of leaks or abnormal condensation on building components. The home inspector shall: Describe the type of roof covering materials; and Report the methods used to observe the roofing. The home inspector is not required to: Walk on the roofing; or Observe attached accessories including but not limited to solar systems, antennae, and lightning arrestors.

		IN	NI	NP	RR	Styles & Materials
1.0	Roof Coverings				•	<b>Roof Covering:</b> Modified bitumen
1.1	Flashings	•				<b>Viewed roof covering</b>
1.2	Skylights, Chimneys and Roof Penetrations	•				<b>from:</b> Ground Extra Info : DRONE
1.3	Ventilation of Roof/Attic			•		<b>Roof-Type:</b> Flat
1.4	Roof Drainage Systems (Gutters/Downspouts)	•				
1.5	Roof Structure and Attic (report leak signs or condensation)			•		
		<b>IN</b>	<b>NI</b>	<b>NP</b>	<b>RR</b>	

IN= Inspected, NI= Not Inspected, NP= Not Present, RR= Repair or Replace

**Comments:**

**1.0** The flat roof is deteriorated in areas. Unable to determine if this area will leak. This damage should be repaired or replaced. A qualified contractor should inspect and repair as needed.



1.0 Item 1(Picture)

The roof of the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Roof coverings and skylights can appear to be leak proof during inspection and weather conditions. Our inspection makes an attempt to find a leak but sometimes cannot. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

**2. Exterior**

The home inspector shall observe: Wall cladding, flashings, and trim; Entryway doors and a representative number of windows; Garage door operators; Decks, balconies, stoops, steps, areaways, porches and applicable railings; Eaves, soffits, and fascias; and Vegetation, grading, drainage, driveways, patios, walkways, and retaining walls with respect to their effect on the condition of the building. The home inspector shall: Describe wall cladding materials; Operate all entryway doors and a representative number of windows; Operate garage doors manually or by using permanently installed controls for any garage door operator; Report whether or not any garage door operator will automatically reverse or stop when meeting reasonable resistance during closing; and Probe exterior wood components where deterioration is suspected. The home inspector is not required to observe: Storm windows, storm doors, screening, shutters, awnings, and similar seasonal accessories; Fences; Presence of safety glazing in doors and windows; Garage door operator remote control transmitters; Geological conditions; Soil conditions; Recreational facilities (including spas, saunas, steam baths, swimming pools, tennis courts, playground equipment, and other exercise, entertainment, or athletic facilities); Detached buildings or structures; or Presence or condition of buried fuel storage tanks. The home inspector is not required to: Move personal items, panels, furniture, equipment, plant life, soil, snow, ice or debris that obstructs access or visibility.

		IN	NI	NP	RR	Styles & Materials
2.0	Wall Cladding Flashing and Trim	•				<b>Siding Style:</b> Brick
2.1	Doors (Exterior)	•				<b>Siding Material:</b> Full brick
2.2	Windows				•	<b>Driveway:</b> Parking lot
2.3	Decks, Balconies, Stoops, Steps, Areaways, Porches, Patio/Cover and Applicable Railings				•	
2.4	Vegetation, Grading, Drainage, Driveways, Patio Floor, Walkways and Retaining Walls (With respect to their effect on the condition of the building)				•	
2.5	Eaves, Soffits and Fascias				•	
2.6	Light fixtures and electrical outlets (exterior)				•	

IN= Inspected, NI= Not Inspected, NP= Not Present, RR= Repair or Replace

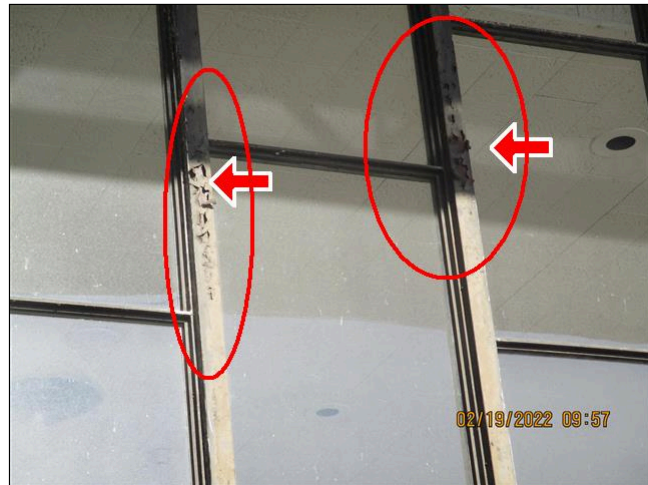
IN NI NP RR

**Comments:**

2.2 (1) The trim is peeling paint at most windows. Further deterioration may occur if not repaired. I recommend a qualified contractor inspect and repair as needed.



2.2 Item 1(Picture)



2.2 Item 2(Picture)



2.2 Item 3(Picture)



2.2 Item 4(Picture)



2.2 Item 5(Picture)



2.2 Item 6(Picture)





2.2 Item 7(Picture)

(2) Few windows cracked. A qualified person should repair or replace as needed.



2.2 Item 8(Picture)



2.2 Item 9(Picture)

2.3 Missing ground drain cap



2.3 Item 1(Picture)

2.4 (1) The concrete walkway is deteriorated in areas and can be a tripping hazard. Further deterioration can occur if not

repaired. A qualified person should repair or replace as needed.



2.4 Item 1(Picture)



2.4 Item 2(Picture)



2.4 Item 3(Picture)

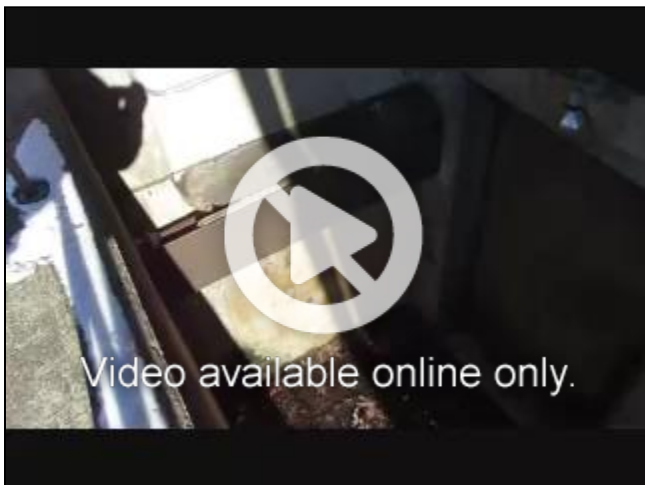
(2) The concrete foundation wall at the side has shifted somewhat, also water seepage from adjacent wall. Structural engineer required



2.4 Item 4(Picture)



2.4 Item 5(Picture)



2.4 Item 6(Video) WATER SEEPAGE

(3) Due to snow inspector unable to see negative slope that cause or contribute to water intrusion or deterioration.



2.4 Item 7(Picture)



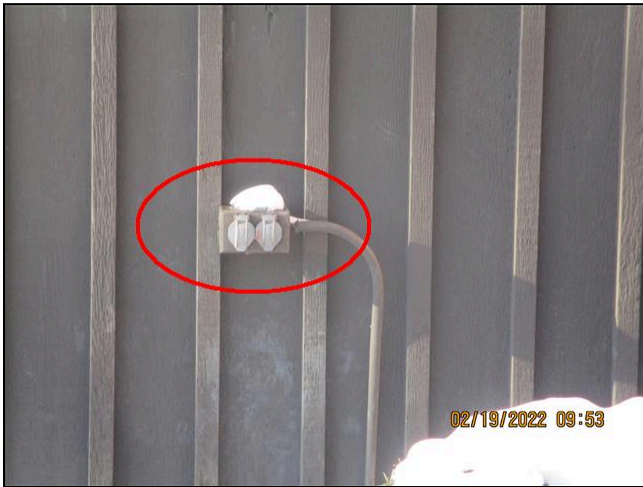
2.4 Item 8(Picture)

2.5 A gap between the fascia and roof sheathing exists which allows insects or bees to enter attic.



2.5 Item 1(Picture)

**2.6 (1) Exterior GFCI required, Electrical issues are considered a hazard until repaired.**



2.6 Item 1(Picture)



2.6 Item 2(Picture)

(2) The outside roof junction box cover is damaged and needs repair or replace. Electrical issues are considered a hazard until repaired.



2.6 Item 3(Picture)

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The exterior of the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

## Summary

The following items or discoveries indicate that these systems or components **do not function as intended** or **adversely affects the habitability of the dwelling**; or **warrants further investigation by a specialist**, or **requires subsequent observation**. This summary shall not contain recommendations for routine upkeep of a system or component to keep it in proper functioning condition or recommendations to upgrade or enhance the function or efficiency of the home. This Summary is not the entire report. The complete report may include additional information of concern to the customer. It is recommended that the customer read the complete report.

### 1. Roof System / Chimneys and Attic

- 1.0 Roof Coverings
  - Repair or Replace

The flat roof is deteriorated in areas. Unable to determine if this area will leak. This damage should be repaired or replaced. A qualified contractor should inspect and repair as needed.



1.0 Item 1(Picture)

**2. Exterior**

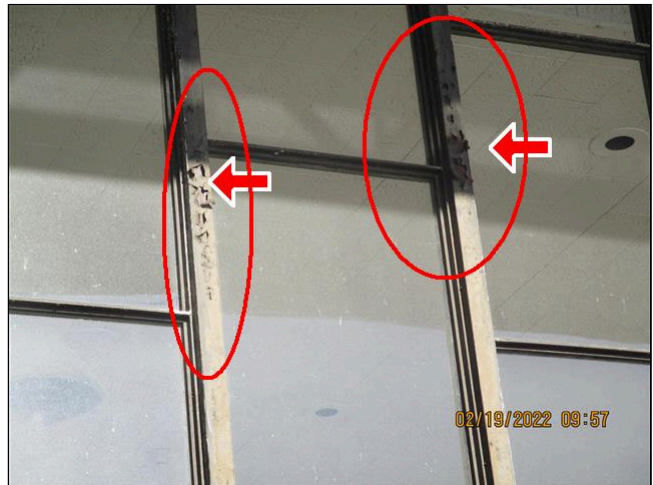
**2.2 Windows**

**Repair or Replace**

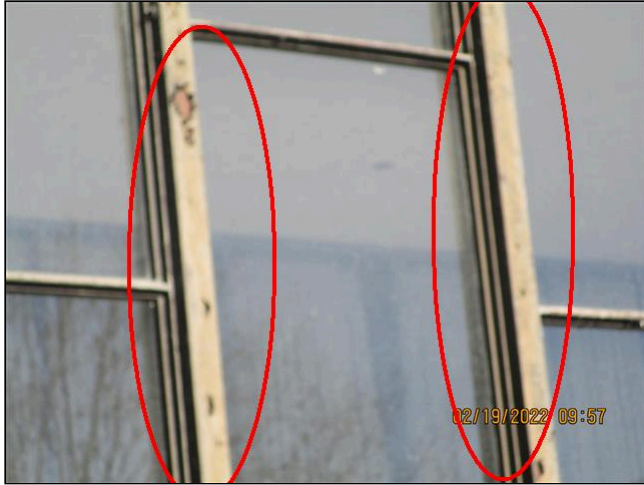
(1) The trim is peeling paint at most windows. Further deterioration may occur if not repaired. I recommend a qualified contractor inspect and repair as needed.



2.2 Item 1(Picture)



2.2 Item 2(Picture)



2.2 Item 3(Picture)



2.2 Item 4(Picture)



2.2 Item 5(Picture)



2.2 Item 6(Picture)



2.2 Item 7(Picture)

(2) Few windows cracked. A qualified person should repair or replace as needed.



2.2 Item 8(Picture)



2.2 Item 9(Picture)

**2.3 Decks, Balconies, Stoops, Steps, Areaways, Porches, Patio/Cover and Applicable Railings**

**Repair or Replace**

Missing ground drain cap



2.3 Item 1(Picture)



2.4 Vegetation, Grading, Drainage, Driveways, Patio Floor, Walkways and Retaining Walls (With respect to their effect on the condition of the building)

Repair or Replace

(1) The concrete walkway is deteriorated in areas and can be a tripping hazard. Further deterioration can occur if not repaired. A qualified person should repair or replace as needed.



2.4 Item 1(Picture)



2.4 Item 2(Picture)



2.4 Item 3(Picture)

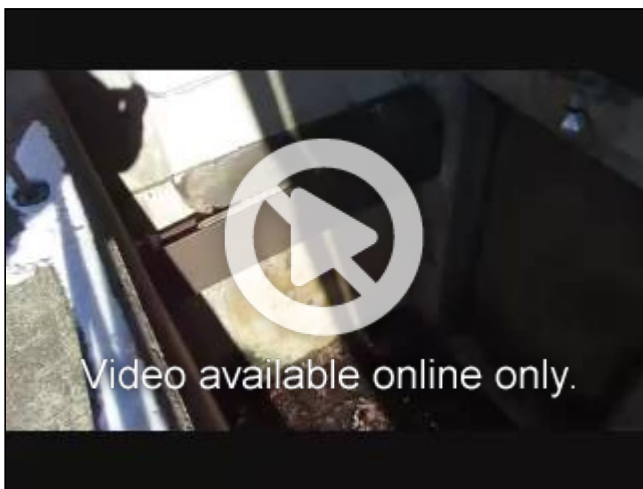
(2) The concrete foundation wall at the side has shifted somewhat, also water seepage from adjacent wall. Structural engineer required



2.4 Item 4(Picture)



2.4 Item 5(Picture)



2.4 Item 6(Video) WATER SEEPAGE

(3) Due to snow inspector unable to see negative slope that cause or contribute to water intrusion or deterioration.



2.4 Item 7(Picture)



2.4 Item 8(Picture)

**2.5 Eaves, Soffits and Fascias**

**Repair or Replace**

A gap between the fascia and roof sheathing exists which allows insects or bees to enter attic.

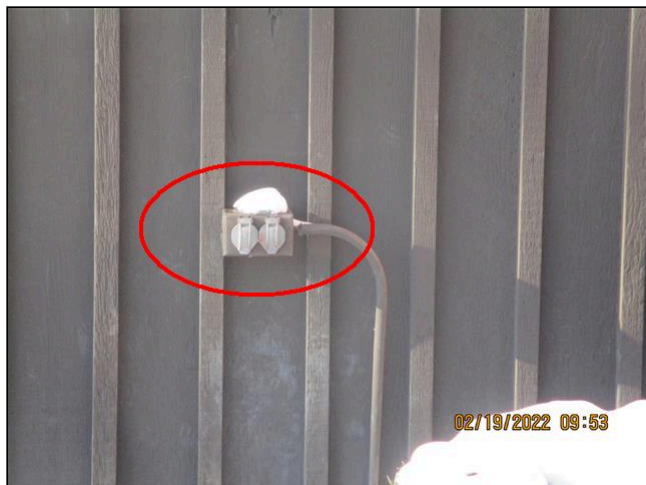


2.5 Item 1(Picture)

**2.6 Light fixtures and electrical outlets (exterior)**

**Repair or Replace**

(1) Exterior GFCI required, Electrical issues are considered a hazard until repaired.

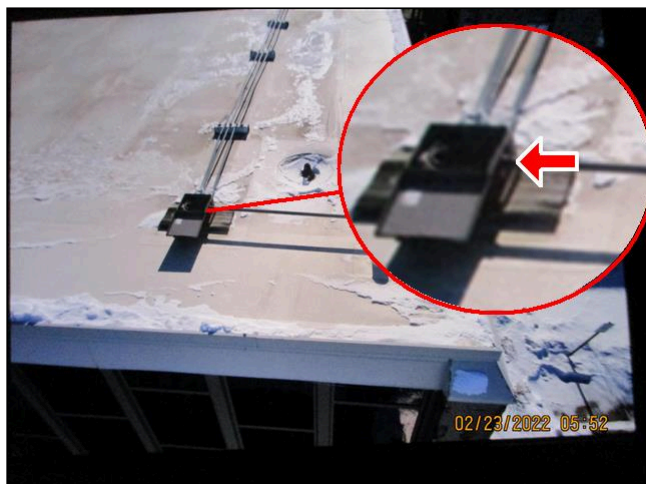


2.6 Item 1(Picture)



2.6 Item 2(Picture)

(2) The outside roof junction box cover is damaged and needs repair or replace. Electrical issues are considered a hazard until repaired.



2.6 Item 3(Picture)

Home inspectors are not required to report on the following: Life expectancy of any component or system; The causes of the need for a repair; The methods, materials, and costs of corrections; The suitability of the property for any specialized use; Compliance or non-compliance with codes, ordinances, statutes, regulatory requirements or restrictions; The market value of the property or its marketability; The advisability or inadvisability of purchase of the property; Any component or system that was not observed; The presence or absence of pests such as wood damaging organisms, rodents, or insects; or Cosmetic items, underground items, or items not permanently installed. Home inspectors are not required to: Offer warranties or guarantees of any kind; Calculate the strength, adequacy, or efficiency of any system or component; Enter any area or perform any procedure that may damage the property or its components or be dangerous to the home inspector or other persons; Operate any system or component that is shut down or otherwise inoperable; Operate any system or component that does not respond to normal operating controls; Disturb insulation, move personal items, panels, furniture, equipment, plant life, soil, snow, ice, or debris that obstructs access or visibility; Determine the presence or absence of any suspected adverse environmental condition or hazardous substance, including but not limited to mold, toxins, carcinogens, noise, contaminants in the building or in soil, water, and air; Determine the effectiveness of any system installed to control or remove suspected hazardous substances; Predict future condition, including but not limited to failure of components; Since this report is provided for the specific benefit of the customer(s), secondary readers of this information should hire a licensed inspector to perform an inspection to meet their specific needs and to obtain current information concerning this property.

*Prepared Using HomeGauge <http://www.HomeGauge.com> : Inspector Jay Rogers*