



Inspection Report

Ashghar Farhadi

Property Address:
24703 Ave Asoleada
Calabasas CA 91302



AmeriSpec Inspection Services

Vic Melkonian
11087 Wystone Ave.
Porter Ranch, CA 91326
877-518-9955

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Date: 11/19/2022	Time: 09:00:00 AM	Report ID: 111922VM14VH
Property: 24703 Ave Asoleada Calabasas CA 91302	Customer: Ashghar Farhadi	Real Estate Professional: Courtney Van Cott Frontgate Real Estate

GENERAL INFORMATION

We attempt to give the client a comprehensive, clear-cut, unbiased view of the home. The purpose of this inspection is to identify 'MAJOR' problems associated with the property being purchased or sold, although minor items may also be mentioned. Areas, which may be of concern to us, may not be of concern to the client and some items, which may be of concern to the client, may be considered minor to us. Therefore, it is advisable to read the entire report.

Where repairs or replacements are suggested, we recommend licensed professionals in that field be called upon to make those repairs. We can perform verification of repairs to ensure repairs or corrections were made and also advise the client to obtain all paperwork from professionals concerning the work performed. These professionals will be happy to provide you with written statements concerning their work. We further recommend maintaining all paperwork on repairs for future reference.

FUTURE FAILURE: Items in the home can and do experience failure without prior indications. This report is a snap shot of the condition of the home at the time of inspection. We cannot determine if or when an item will experience failure. Therefore, we cannot be held responsible for future failure. Carbon monoxide and smoke detectors have been proven to save lives. Client is advised to install carbon monoxide and smoke detectors if not already present in home. Suggest consulting with your local municipality and manufacture specifications as to the proper location and installation of these units.

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DEFINITION OF TERMS

Please take the time to analyze the following pages contained herein. This is your complete inspection report and must be reviewed carefully. Below is an index of the ratings used in this report.

SERVICEABLE (S) = The items inspected appeared to function normally at time of inspection.

Not Applicable (N/A) = The item(s) do not apply to this property.

NOT PRESENT (NP) = The item was not present at the time of inspection.

NOT INSPECTED (NI) = The item was not inspected due to inaccessibility, personal items, temperature, weather conditions or the item is not within the scope of the inspection.

NOT OPERATED (NO) = The system or component was not operated due inaccessibility, temperature, weather conditions or the item is not within the scope of the inspection.

REPAIR / REPLACE (RR) = The item was inspected and found to have deficiencies, was operating or installed incorrectly, is a possible health, fire, safety concern or in the inspector's opinion at or near the end of its useful life. Items with the heading 'Repair / Replace' will appear in the 'Summary Report'.

Type of building:

Single Family (2 story)

In Attendance:

Buyers Agent, Listing Agent

Approximate age of building:

35 Years

Temperature:

62 degrees (F)

Weather:

Clear

Ground/Soil surface condition:

Dry

Rain in last 3 days:

No

Start Time:

Start Time: 9:00 AM

Finish Time:

Finish Time: 12:15 PM



SUMMARY REPORT

AmeriSpec Inspection Services
 11087 Wystone Ave.
 Porter Ranch, CA 91326
 877-518-9955

SUMMARY

Doc #:	111922VM14VH	Client Name:	Ashghar Farhadi
Dwelling Address:	24703 Ave Asoleada Calabasas CA 91302	Inspector:	Vic Melkonian

This summary is provided as a service to assist in verifying that noted items are not in proper working order at the time of inspection. We do not have access to individual sales contracts and suggest client review sales contract with a real estate professional and/or real estate attorney to determine what repairs if any are to be made.

This summary is only part of the inspection report. The entire inspection report must be reviewed prior to close.

1. Exterior

1.7 Electrical (exterior)

Repair or Replace

(2) The GFCI receptacle at the side of the built-in BBQ was tripped at time of inspection and would not reset. This indicates that the outlet is faulty. Recommend review by a licensed/qualified electrician for repair/replace, as needed.

(3) The weatherproof covers for two of the exterior receptacles at the rear of the home are not secured properly. Recommend corrections for safety.

(4) One of the exterior GFCI receptacles at the left side of the home was tripped at time of inspection. When inspector tried to reset the GFCI the outlet would make a loud buzzing noise and would not reset. Recommend review by a licensed/qualified electrician to ensure safety.

1.12 Stairs and Steps

Repair or Replace

(1) No hand railings noted on steps at rear of home, recommend installing hand rail for safety. When ever four or more risers are present a handrail is usually required.

(2) The top step for the steps at the rear of the home is nearly twice the height of the rest of the steps. This is a safety concern as it may be a potential trip hazard. Recommend review by a licensed/qualified contractor for corrections to ensure safety.

2. Roof System

2.0 Roof Conditions

Repair or Replace

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(1) Broken/damaged tile observed at left side and at rear. Recommend review by a qualified contractor for repair or replacement, as necessary, prior to close.

(2) The mortar that fills the gap between the flashings and roof tiles are deteriorated/cracked observed at rear. Recommend review for repairs/corrections as needed to prevent further future damages.

3. Garage/Carport

3.4 Garage Door Openers

Repair or Replace

(1) The electric eyes are mounted (10" inches) too far above the floor, recommend lowering the eyes to within 6" inches of the floor or manufactures specifications in order to protect small children, pets, or property as intended by the manufacturer.

(2) The red emergency pull handle/rope for both garage doors are too high (79" for the small door and 76" for the large door). Should be maximum 72" high from the floor. Recommend corrections for proper operations at the time of emergency.

(3) The garage door operator buttons are installed at approximately 52" inches high. The buttons should be minimum 60" inches high to ensure a child is not able to operate the button when unattended. Recommend review by garage door specialist for corrections as needed for safe and proper operation.

4. Chimney

4.2 Flashings

Repair or Replace

Recommend caulking/seal all gaps/voids between the roof tiles and the chimney flashings where necessary. Review by a licensed roofer for repairs to prevent further future damages.

8. Heating System

8.0 Heating Equipment Condition

Repair or Replace

(1) Rust and streaking observed inside both furnaces burner and blower compartments. This indicates that moisture may have entered inside the units at some point in the past. Recommend further evaluation by a licensed/qualified HVAC contractor for repairs/corrections, as needed, to ensure safe and proper operation.

Note: first three images are of the garage furnace and the next three are of the attic furnace.

(2) The indicator light inside the garage furnace was flashing rapidly at time of inspection. According to the label inside the furnace, this indicates the following: "Line voltage (115VAC) polarity reversed. If twinned, refer to twinning kit instructions."

(3) The attic furnace shuts off after a few seconds of operation. Inspector was able to reset the furnace by switching it OFF and then back ON again using the disconnect switch above the furnace, however after a few seconds the furnace would shut itself off again. Unable to determine reason. Further evaluation is needed by a licensed/qualified HVAC contractor for repairs/corrections to ensure safe and proper operation.

8.2 Exhaust Venting

Repair or Replace

(1) Unable to determine if the flue pipe sections are connected using sheet metal screws. The screws will prevent separation of the flue pipe sections in the event of an earthquake. Sheet metal screws are required in each joint. Recommend review by a licensed/qualified plumber for repair or replacement, as necessary.

(2) The garage furnace vent pipe, as it runs through the attic, is in direct contact with insulation and one of the rafters at the roof line. This is a potential fire safety hazard as the vent pipe can reach high temperatures during furnace operation. Recommend review by a licensed/qualified HVAC contractor for corrections to ensure safety.

9. Air Conditioning System

9.2 Energy Source

Repair or Replace

Missing electric wiring protective insulator observed at the condenser electric disconnect for the condenser at the right side of the home, near the pool equipment. Recommend review by a licensed electrician or HVAC specialist for corrections to enhance safety.

10. Water Heater

10.0 Water Heater Condition

Repair or Replace

The middle earthquake strap on the water heater is loose. Suggest tightening strap to ensure safety.

10.1 Supply Lines

Repair or Replace

(1) Corrosion observed on cold water pipe fitting on top of water heater; no leaks visible at time of inspection. Recommend review by a licensed plumber for repair or replacement, as necessary, prior to close.

(2) The cold water shutoff handle is obstructed by the top of the water heater. This is a safety concern as it may prevent you from shutting off the water supply in the event of an emergency. Recommend review by a licensed/qualified plumber for corrections to ensure safety.

10.3 Flue Venting

Repair or Replace

Some of the flue pipe sections appear to have been connected without using sheet metal screws. The screws will prevent separation of the flue pipe sections in the event of an earthquake. Sheet metal screws are required in each joint. Recommend review by a licensed/qualified plumber for repair or replacement, as necessary.

11. Kitchen and Built-in Appliances

11.6 Receptacles, Switches and Fixtures

Repair or Replace

A Ground Fault Circuit Interrupter (GFCI) is not present under the kitchen sink. Ground Fault Circuit Interrupters (GFCI) may not have been required under the kitchen sink when the home was built. Suggest client consider upgrading with ground fault circuit interrupters (GFCI's) at all receptacles near water sources. Upgrades should be performed by a licensed electrician.

12. Bathroom(s)

12.0 Floors

Repair or Replace

(2) Loose floor tiles at several areas observed in the upstairs hall bathroom #2, suggest corrections to prevent further damage.

12.6 Receptacles, Switches and Fixtures

Repair or Replace

(1) The black push button marked test on GFCI outlet is loose/damaged observed in upstairs hall bathroom at left sink. Recommend review by a licensed electrician for repair/.replace as necessary to ensure safety.

(2) Recessed light fixtures at the shower and bath tub ceilings observed in bathroom #3 (master). The National Electric Code (NEC) from 2011 requires that any part of a light fixture must be a minimum of 8 feet above the highest portion of a shower walls and the zone extends out horizontally 3 feet around the shower floor. The

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requirement promotes safety. The installed light should also be rated for a moist or wet location. Recommend review by a licensed electrician for correction/replacement to ensure safety.

13. Laundry Area

13.4 Receptacles, Switches and Fixtures

Repair or Replace

(1) A Ground Fault Circuit Interrupter (GFCI) is not present at the laundry room. Ground Fault Circuit Interrupters (GFCI) may not have been required at the laundry room when the home was built. Suggest client consider upgrading with ground fault circuit interrupters (GFCI's) at all receptacles near water sources. Upgrades should be performed by a licensed electrician.

(2) The 220 outlet was inoperable observed in the laundry room. Recommend review by licensed electrician for repairs/replacement as needed for safety.

14. Interior Rooms and Areas

14.6 Heat / Cooling Source

Repair or Replace

The supply registers above the family room do not appear to be supplying conditioned air. This indicates a possible blocked or disconnected duct. Recommend further evaluation by a licensed/qualified HVAC contractor for repairs/corrections.

16. Attic

16.1 Attic Framing

Repair or Replace

(1) One of the rafters in the attic does not appear to be secured properly; the nails don't penetrate all the way through. Recommend review by a licensed/qualified contractor for repairs/corrections.

16.7 Attic Comments

Repair or Replace

(1) Evidence of termite infestation observed in the attic. Per seller's agent, a pest control expert has already addressed the issue and provided clearance. Recommend consult with seller for additional information.

17. Pool Equipment & Area

17.0 Vessel / Shell

Repair or Replace

(1) Surface deterioration observed at several areas of the pool/spa. Recommend review by a licensed qualified professional for repair or replacement, as necessary.

17.5 Fences / Gates

Repair or Replace

(1) The self-closing device or gate hardware needs adjustment or repair to properly close completely and maintain the intended safety enhancement to prevent pool access by small or unattended children.

(2) Missing auto-closer. Client should consider installing a self-closer with automatic latch as a safety enhancement to prevent pool access by small or unattended children.

17.6 Pool Barrier

Repair or Replace

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No pool barrier present, suggest installing pool barrier to ensure child safety. *The top of the barrier shall be at least 60 inches (1,530 mm) above grade measured on the side of the barrier that faces away from the swimming pool. The maximum vertical clearance between grade and the bottom of the barrier shall be 2 inches (51 mm) measured on the side of the barrier that faces away from the swimming pool. Where the top of the pool structure is above grade, the barrier is authorized to be at ground level or mounted on top of the pool structure, and the maximum vertical clearance between the top of the pool structure and the bottom of the barrier shall be 4 inches (102 mm). The enclosure shall isolate the swimming pool or spa from the private single-family home.*

17.7 Doors and Windows**Repair or Replace**

All doors (including the garage side door) and windows with direct access to the pool through that wall shall be equipped with an alarm which produces an audible warning when the door or window and/or its screen, if present, are opened. The alarm shall be listed and labeled in accordance with UL 2017. The deactivation switch shall be located at least 54 inches (1372 mm) above the threshold of the door.

17.8 Electrical**Repair or Replace**

(1) Open junction box observed resting on the floor at the pool equipment area. Recommend review by a licensed pool specialist or licensed contractor for corrections to ensure safety.

(2) The pool pump is not bonded/grounded observed, recommend extending the bond wire to the pump. Review for corrections/repair as a safety enhancement.

17.9 Pool Light**Repair or Replace**

Spa light inoperable at time of inspection, possibly due to burnt bulbs. Client is advised to verify operability prior to close.

17.12 Heater**Repair or Replace**

Pool heater was Inoperable at time of inspection. Recommend review by a licensed pool specialist contractor or pool equipment specialist for repairs or replace as necessary, prior to close.

17.13 Filter System**Repair or Replace**

Leak observed at filter system around the o-ring, a pool/spa specialist is needed for maintenance/repairs be performed, prior to close.

17.14 Pump**Repair or Replace**

Wet floor observed under the pump/motor. Suggest further review by a qualified pool specialist for repairs/replacement as needed.

17.15 Misc. Pool Equipment**Repair or Replace**

The air blower for the SPA runs for a few minutes then stops. Recommend further evaluation by a licensed pool specialist contractor or pool equipment specialist for review and make the necessary repairs/corrections or replace as necessary.

17.16 Timer System**Repair or Replace**

The timer interior wiring insulator/guard is missing. This is a safety concern. Suggest further review by a qualified licensed electrician for repairs/replacement as needed to ensure safety.

1. Exterior

Our exterior evaluation is visual in nature and is based on our experience and understanding of common building methods and materials. Our review does not take into consideration the normal wear associated with virtually all properties. Exterior surfaces should be kept well painted, stained or sealed to prevent deterioration. Grading & adjacent surfaces should be maintained and pitched away from the foundation to reduce the chances of water infiltration.



Styles & Materials

Driveway:

Concrete

Walkways:

Concrete
Paver/Tile
Natural Stones

Exterior Wall Cladding:

Hard Coat Stucco

Exterior Entry Doors:

Wood

Windows and Frames:

Dual Pane Windows

Items

1.0 Driveways

Comments: Repair or Replace

Cracks observed on driveway concrete. Recommend repair and seal all cracks in concrete surfaces to prevent water penetration as a routine maintenance effort.



1.0 Item 1(Picture)



1.0 Item 2(Picture)



1.0 Item 3(Picture)

1.1 Walkways

Comments: Repair or Replace

Cracks and missing/deteriorated grout observed on short decorative wall at the sides of the front walkway. Primarily a cosmetic concern. Recommend review for repairs, as needed.



1.1 Item 1(Picture)



1.1 Item 2(Picture)



1.1 Item 3(Picture)

1.2 Exterior Wall Cladding

Comments: Repair or Replace

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(1) Vegetation observed in direct contact with siding at front of home. This can promote moisture damage and wood deterioration to the siding and structure which is not always visible to the inspector. Suggest trimming/removal of vegetation to prevent damage to the home. This was a limited review of this area. Damage/deterioration can only be viewed after removal of vegetation/overgrowth.



1.2 Item 1(Picture)



1.2 Item 2(Picture)

(2) There is a braided wire (appears to be metal) that is sticking out of the home's siding, above the first roof line. Unable to determine purpose of wire. Recommend consult with seller for additional information or review by a qualified professional for removal, as needed.



1.2 Item 3(Picture)

1.3 Trim, Eaves, Soffits and Fascias

Comments: Repair or Replace

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(1) Cracks/gaps observed between fascia boards and soffit area all around the home. This may allow pests, such as termites, to enter the home's structure. This may also allow moisture entry and lead to damage/deterioration. Recommend review by a licensed/qualified contractor for corrections to prevent damage.



1.3 Item 1(Picture)



1.3 Item 2(Picture)



1.3 Item 3(Picture)



1.3 Item 4(Picture)

(2) Cracked fascia board observed at right side of home, near the pool equipment area. Recommend review by a licensed/qualified contractor for repairs.



1.3 Item 5(Picture)

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(3) Cracked soffit planks observed above the bedroom #2 balcony. Recommend review by a licensed/qualified contractor for repairs.



1.3 Item 6(Picture)



1.3 Item 7(Picture)



1.3 Item 8(Picture)



1.3 Item 9(Picture)

1.4 Windows & Frames

Comments: Repair or Replace

Cracks and deteriorated grout observed on decorative exterior moulding around the majority of the windows, as well as some of the doors. Suggest sealing all cracks to prevent moisture penetration.



1.4 Item 1(Picture)



1.4 Item 2(Picture)

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1.4 Item 3(Picture)



1.4 Item 4(Picture)



1.4 Item 5(Picture)



1.4 Item 6(Picture)



1.4 Item 7(Picture)

1.5 Doors (Exterior)

Comments: Serviceable

1.6 Fences and Gates

Comments: Serviceable

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1.7 Electrical (exterior)

Comments: Repair or Replace

(1) The receptacle at the front of the home, immediately to the left of the main entry door, is blocked by the decorative moulding and as a consequence does not open. Recommend review by a licensed/qualified contractor for corrections if access to the outlet is desired.



1.7 Item 1(Picture)

(2) The GFCI receptacle at the side of the built-in BBQ was tripped at time of inspection and would not reset. This indicates that the outlet is faulty. Recommend review by a licensed/qualified electrician for repair/replace, as needed.



1.7 Item 2(Picture)

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(3) The weatherproof covers for two of the exterior receptacles at the rear of the home are not secured properly. Recommend corrections for safety.



1.7 Item 3(Picture)



1.7 Item 4(Picture)

(4) One of the exterior GFCI receptacles at the left side of the home was tripped at time of inspection. When inspector tried to reset the GFCI the outlet would make a loud buzzing noise and would not reset. Recommend review by a licensed/qualified electrician to ensure safety.



1.7 Item 5(Picture)

(5) One of the exterior recessed light fixtures at the left side of the home was inoperable at time of inspection. Possible spent bulb. Recommend review for repair/replace, as needed.



1.7 Item 6(Picture)

1.8 Gas Meter**Comments:** Serviceable

The main fuel shut off is at gas meter, located at right side.



1.8 Item 1(Picture)

1.9 Exterior Water Faucets**Comments:** Serviceable**1.10 Door Bell(s)****Comments:** Serviceable**1.11 Lot Grade and Drainage****Comments:** Repair or Replace

There is an underground drainage pipe at the front of the home, at the front/left corner of the garage, that does not have a screen/cover. Recommend replacing to prevent unwanted entry by pests or debris. It is beyond the scope of this inspection to inspect or perform tests on underground drainage systems. Suggest client obtain information from sellers or verify that the drainage system functions properly prior to closing.



1.11 Item 1(Picture)

1.12 Stairs and Steps**Comments:** Repair or Replace

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(1) No hand railings noted on steps at rear of home, recommend installing hand rail for safety. When ever four or more risers are present a handrail is usually required.



1.12 Item 1(Picture)

(2) The top step for the steps at the rear of the home is nearly twice the height of the rest of the steps. This is a safety concern as it may be a potential trip hazard. Recommend review by a licensed/qualified contractor for corrections to ensure safety.



1.12 Item 2(Picture)

(3) Cracks observed on steps at rear of home. Recommend review by a licensed/qualified contractor for repairs.



1.12 Item 3(Picture)



1.12 Item 4(Picture)

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1.12 Item 5(Picture)

1.13 Patio

Comments: Repair or Replace

(1) Flex drain observed underneath the sink at the built-in BBQ. These are subject to frequent clogging. Recommend consulting with sellers for additional information or replacing to ensure proper operation.



1.13 Item 1(Picture)

(2) Exposed tops of metal re-bar observed sticking up from the natural stone flooring at rear of home, next to the built-in BBQ. Recommend review by a licensed/qualified contractor for repairs, as needed.



1.13 Item 2(Picture)

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1.14 Exterior Comments**Comments:** Not Inspected

(1) The built-in BBQ at the rear of the home is beyond the scope of the inspection. If concerned, recommend consult with seller or review by a qualified professional.



1.14 Item 1(Picture)

(2) Inspection of "common areas" is beyond the scope of this inspection. These are areas maintained and controlled by your homeowner association (HOA), and typically include the grounds, foundation, irrigation, roof, walkways, exterior stairs & hallways, exterior siding, pools, spas, elevators, utility metering, fire & alarm systems, parking stalls, storage facilities, and drainage systems. We recommend that prior to purchase, you contact the HOA and the seller for information about any prior issues, repairs or maintenance of these areas. Note: Any information cited in this Report about the condition of a common area has been provided as a courtesy only; doing so does not act to expand the scope of the inspection to include the common area components and systems.

1.15 Retaining Walls**Comments:** Repair or Replace

Hairline crack observed on top of the landscape retaining wall at the rear/left side of the home. Recommend review for repairs, as needed.



1.15 Item 1(Picture)

2. Roof System

Our evaluation of the roof is to determine if surface areas are missing and/or damaged and therefore subject to possible leaking. Portions of the roof, including underlayment, decking and some flashing are hidden from view and cannot be evaluated by our visual inspection; therefore, our review is not a guarantee against roof leaks or a certification. Some areas are not visible when we are unable to mount the roof due to weather conditions, height, pitch, etc. Areas most vulnerable to leaks are low slope areas, areas pitched toward walls, through-roof projections (chimneys, vents, skylights, etc.) roof slopes that change pitch or direction, and intersecting roof/wall lines. Flashing and shingle defects can cause hidden leaks and damage and should be immediately addressed. We advise qualified contractor estimates and review of the full roof system when defects are reported. Factors such as shingle quality, weather, ventilation, and installation methods can affect wear rate. As maintenance can be needed at any time, roofs should be professionally inspected annually.



Styles & Materials

Method Used to Inspect Roof:

Drone

Roof Material Type:

Concrete Tile

Roof Structure:

Wood Frame

Roof-Type:

Gable

Items

2.0 Roof Conditions

Comments: Repair or Replace

(1) Broken/damaged tile observed at left side and at rear. Recommend review by a qualified contractor for repair or replacement, as necessary, prior to close.



2.0 Item 1(Picture)



2.0 Item 2(Picture)



2.0 Item 3(Picture)

(2) The mortar that fills the gap between the flashings and roof tiles are deteriorated/cracked observed at rear. Recommend review for repairs/corrections as needed to prevent further future damages.



2.0 Item 4(Picture)



2.0 Item 5(Picture)

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(3) Debris observed on the roof/valleys, debris prevents the roof from draining or drying out. Debris in the valleys may cause water to dam and flashing(s) to leak. Suggest periodic removal of debris as part of routine maintenance.



2.0 Item 6(Picture)



2.0 Item 7(Picture)



2.0 Item 8(Picture)



2.0 Item 9(Picture)

2.1 Roof Penetrations and Exposed Flashings

Comments: Serviceable

2.2 Roof Drainage Systems (Gutters/Downspouts)

Comments: Repair or Replace

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Missing downspouts observed at rear of home. Suggest downspouts be installed to ensure proper drainage away from the foundation.



2.2 Item 1(Picture)



2.2 Item 2(Picture)



2.2 Item 3(Picture)

2.3 Skylights

Comments: Not Inspected

Limited review of the skylight due to unable to access or get closer to inspect the skylight. If this is a concern, recommend consult with the sellers for additional information, or review by a licensed roofer.



2.3 Item 1(Picture)

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3. Garage/Carport

Our garage/carport evaluation is visual in nature and is based on our experience and understanding of common building methods and materials. Our review does not take into consideration the normal wear associated with virtually all properties. Exterior surfaces should be kept well painted, stained or sealed to prevent deterioration. Garage floors should not be covered with carpet, cardboard, wood or other combustible materials and, of course, flammable products should be properly stored. It is recommended all garage door openers be equipped with a regularly tested safety reverse device to reduce chances of injury. Attached garages should be separated from the house by a steel or solid wood door, and common walls should have a fully sealed fire resistant covering such as drywall to protect against fume entry and to slow the migration of smoke or fire from entering the house in the event of a garage fire. Mounting a self-closer on the door between the garage and the house is an additional suggested safety upgrade. We suggest you keep attic hatches closed, repair any holes or damage that exist or occur, and avoid creating openings between the home and garage. It is especially important to keep garage wall and ceiling areas directly beneath living space intact.



Styles & Materials

Garage Type:

Attached

Exterior Wall Cladding:

Same as House

Roof Material Type:

Same as House

Method Used to Inspect Roof:

Same as House

Garage Door Material:

Metal

Auto-Opener Manufacturer:

LIFT-MASTER

Items

3.0 Exterior Wall Cladding
Comments: Comment

Same as Exterior.

3.1 Roof Conditions
Comments: Comment

Same as Roof System.

3.2 Garage/Carport Floor
Comments: Serviceable

3.3 Garage Door(s)
Comments: Serviceable

3.4 Garage Door Openers
Comments: Repair or Replace

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(1) The electric eyes are mounted (10" inches) too far above the floor, recommend lowering the eyes to within 6" inches of the floor or manufactures specifications in order to protect small children, pets, or property as intended by the manufacturer.



3.4 Item 1(Picture)



3.4 Item 2(Picture)

(2) The red emergency pull handle/rope for both garage doors are too high (79" for the small door and 76" for the large door). Should be maximum 72" high from the floor. Recommend corrections for proper operations at the time of emergency.



3.4 Item 3(Picture)



3.4 Item 4(Picture)

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(3) The garage door operator buttons are installed at approximately 52" inches high. The buttons should be minimum 60" inches high to ensure a child is not able to operate the button when unattended. Recommend review by garage door specialist for corrections as needed for safe and proper operation.



3.4 Item 5(Picture)

(4) One of the bulbs is missing for the small garage door auto-opener. Recommend replacing to ensure proper lighting.



3.4 Item 6(Picture)

3.5 Occupant Door(s)

Comments: Serviceable

3.6 Garage Walls

Comments: Repair or Replace

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(1) Common cracks noted on garage walls. Appear to be primarily a cosmetic concern. Suggest repairs as needed.



3.6 Item 1(Picture)



3.6 Item 2(Picture)

(2)

- **Attached garages in most jurisdictions should be separated from common walls of the house by a proper fire wall and fire door. This is to keep the migration of any smoke or fire from entering the house in the event of a fire in the garage. A self closer on the fire door between the garage and the house is an additional safety precaution.**

3.7 Garage/Carport Ceiling

Comments: Serviceable

3.8 Electrical Receptacles, Switches and Fixtures

Comments: Serviceable

3.9 Garage/Carport Comments

Comments: Not Inspected

The refrigerator in the garage is beyond the scope of the inspection. If concerned, recommend consult with seller for additional information.



3.9 Item 1(Picture)

4. Chimney

Our chimney review is limited to the visible and/or accessible components only. Examination of concealed or inaccessible portions such as flue lining or the adequacy of these chimneys to properly draft is not within the scope of this inspection. This includes determining the presence of a flue lining, or if lining is present, checking for deterioration, damage or cracks.

The purpose of the chimney is to take the combustion products (i.e. smoke and exhaust gases) from certain fuel burning appliances to the outside of the home. Improper care and maintenance of a chimney can lead to loss of property and compromise the health and safety of the homes occupants. It is recommended that the chimney(s) be checked annually by a qualified chimney professional, and cleaned if necessary. NFPA (National Fire Protection Association) recommends what is known as a Level II inspection, including a video scan, by a qualified chimney specialist as part of the home buying process. A Level II inspection may identify problems that exist which cannot be detected during a general home inspection.



Styles & Materials

Chimney Type:

Masonry Stucco

Chimney Flue Type:

Metal

Items

4.0 Chimney Conditions

Comments: Comment

It is highly recommended that the chimney(s) be checked by a CSIA (Chimney Safety Institute of America) certified chimney professional prior to closing and cleaned if necessary. NFPA (National Fire Protection Association) 211 recommends what is known as a Level II inspection, including a video scan, by a qualified chimney specialist as part of the home buying process. A Level II inspection may identify problems that exist which cannot be detected during a general home inspection. All references to a "qualified chimney professional" or "contractor" in this section means a CSIA certified individual.

4.1 Chimney Flue

Comments: Not Inspected

Chimney Flue: Not inspected - It is beyond the scope of this inspection to inspect or perform tests on the chimney flue. Recommend further evaluation by a licensed chimney inspector.

4.2 Flashings

Comments: Repair or Replace

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Recommend caulking/seal all gaps/voids between the roof tiles and the chimney flashings where necessary. Review by a licensed roofer for repairs to prevent further future damages.



4.2 Item 1(Picture)



4.2 Item 2(Picture)



4.2 Item 3(Picture)

4.3 Spark Arrestor / Rain Cap

Comments: Serviceable

5. Structural Components

Any below-grade space can leak, even areas that have been dry in prior years. While we look for evidence of leaking, we may not be able to determine if leaks exist or existed and cannot predict future water infiltration. Some water activity occurs only under certain circumstances and can only be identified at the actual time of occurrence. We suggest that you obtain disclosure from the prior occupants regarding any history of water in the basement and obtain price estimates when infiltration is disclosed or signs of water are present. We cannot certify the basement against future water infiltration. Some thin cracking of walls and floors is common and whenever cracks are present, a possibility of future leaking exists. Most wall cracks are relatively easy to repair from the inside. Cracks should be monitored for future seepage or change in the size of the cracks, which would indicate a need for further evaluation. Back-up sump systems are advised to reduce the opportunity for flooding during a power outage or main pump failure. The chance of leakage increases when adjacent surfaces are not pitched away from the home and when roof drainage is within several feet of the foundation. These issues should be addressed as soon as possible. Signs of possible water infiltration include mold/mildew, stains on walls, loose flooring, musty odors, warped paneling and efflorescence. If freshly painted walls are present, we suggest you inquire of the seller/occupants if any staining or other leak evidence existed before painting.

Styles & Materials

Foundation Type:

Slab on Grade

Floor Structure:

Slab

Wall Structure:

Traditional Wood Frame Construction

Ceiling Structure:

Wood Joists

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Items**5.0 Slab**

Comments: Serviceable

- Homes built with a slab construction may have heating duct work, plumbing, gas, and electrical lines running beneath the slab. As it is impossible to determine position of these items by a visual inspection, they are specifically excluded from the scope of this inspection.

5.1 Foundation, Basement and Crawlspace

Comments: Serviceable

6. Plumbing System

Our focus in the plumbing portion of the inspection is directed at identifying visible water damage and/or problems. We may not always mention common faults such as stuck stoppers or dripping faucets. If considered important, you should check these items independently. Shut-off valves and angle stops under the kitchen or bathroom sinks and toilets are not turned or tested during the inspection due to the possibility of leaking. All shut-off valves or angle stops should be turned regularly to ensure free movement in case of emergency. The water supply system was tested for its ability to deliver functional water pressure to installed plumbing fixtures and the condition of connected piping that was visible. Our plumbing inspection also consists of checking for functional drainage at all fixtures. We suggest you obtain the maintenance history for the home's plumbing and obtain receipts for any recent work or for anything for which a warranty may apply.

**Styles & Materials**

Water Source (To Home): Public	Plumbing Water Distribution (Inside home): Copper	Plumbing Waste & Vent Pipes: ABS
Water Shut Off Location: Front of the house	Main Fuel Shut Off Location: Right Side Exterior at Gas Meter	Water Supply Pressure: 75 PSI

Items**6.0 Plumbing Water Supply System**

Comments: Serviceable

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The shutoff handle at the main water shutoff is partially buried. Recommend clearing the area of dirt/mulch to ensure you are able to shut the water off in the event of an emergency.



6.0 Item 1(Picture)

6.1 Drain Waste and Vent Systems

Comments: Serviceable

6.2 Fuel Storage and Distribution Systems (Interior fuel storage, piping, venting, supports)

Comments: Serviceable

7. Electrical System

Our electrical inspection meets the ASHI standard of practice and is done by sampling visibly accessible wiring and fixtures. Determining the actual capacity of the system requires load calculations, which are not within the scope of this report. Underground circuits and concealed components of the system are not inspected. While age is one factor, most homes have electrical issues created by amateur electricians. We do not move belongings and do not examine every fixture, outlet, wiring run, etc., nor do we remove insulation, or wall coverings. Covers are not removed, with the exception of the cover of the main electrical panel, when this can be done safely and without risking damage to finish. Much of the wiring in the home is not visible and not reviewed. Once the current occupant's belongings have been removed, it's a good idea to check all outlets with a tester and to look inside cabinets, closets and other obstructed areas before moving in your own belongings. We use a standard electrical tester to check a sample of outlets. While the tester is generally reliable, it can be fooled by certain improper wiring practices, which we cannot detect during a general home inspection. Because electrical defects are safety concerns, we advise the use of a qualified licensed electrician for cost estimates, repairs and upgrades, prior to close.



Styles & Materials

Main Electrical Panel Location:

Exterior Right Side

Sub-Panel Location(s):

Bedroom

Pool

Equipment Grounding Present:

Yes

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Electrical Main Service:

Underground

Service Amperage:

200 AMPS

Panel Type:

Breakers

Branch Wiring Type:

Copper

Wiring Methods:

Non Metallic Sheathed Cable (Romex)

Futures Available:

Yes

Electric Panel Manufacturer:

CHALLENGER

MURRAY

GFCI Reset Location(s):

Exterior

Garage

AFCI Reset Location(s):

Sub-panel

Smoke Alarms/Detectors Present?:

Yes

Carbon Monoxide (CO) Alarms Present?:

Yes

Items**7.0 Electrical Main Service****Comments:** Serviceable**7.1 Equipment Grounding****Comments:** Serviceable**7.2 Main Electrical Panel Condition****Comments:** Repair or Replace

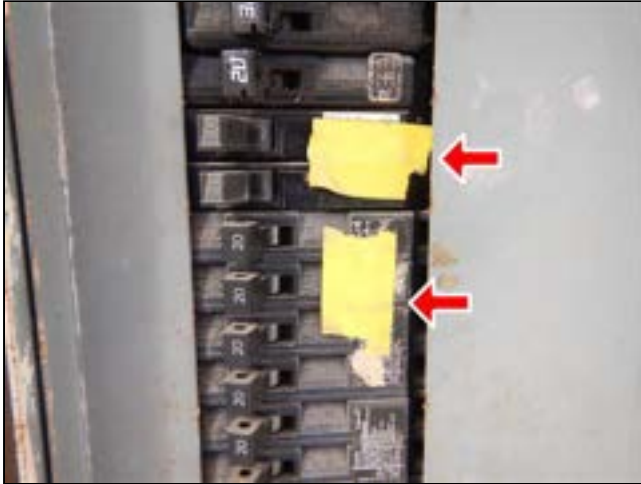
(1) The main electrical panel cover screw is a pointed screw. This may damage the wiring insulation over time when cover is removed/replaced. Recommend replacing with a proper flat-ended screw to ensure safety.



7.2 Item 1(Picture)

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(2) Some of the breakers in the main panel have been taped with a yellow tape. Unable to determine reason. Recommend consult with seller for additional information.



7.2 Item 2(Picture)

7.3 Electrical Sub Panel Condition

Comments: Serviceable

The sub panel box is located in bedroom #2.



7.3 Item 1(Picture)



7.3 Item 2(Picture)

7.4 Operation of GFCI (Ground Fault Circuit Interrupters)

Comments: Serviceable

7.5 Operation of AFCI (ARC Fault Circuit Interrupters)

Comments: Serviceable

7.6 Smoke Alarms

Comments: Serviceable

The smoke alarms/detectors should be tested upon moving into the home to ensure proper operation.

7.7 Carbon Monoxide Alarms

Comments: Serviceable

The Carbon Monoxide (CO) alarms/detectors should be tested upon moving into the home to ensure proper operation.

7.8 Electrical Comments

Comments: Comment

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The main electric panel box and service disconnect are located outside at right side of home.



7.8 Item 1(Picture)

8. Heating System

Our evaluation of heating system(s) is both visual and functional provided power and/or fuel is supplied to the component. Items not listed here as well as things we cannot see, such as utilities, drains, and ducts inside walls, floors and underground are beyond the scope of this inspection. DISMANTLING AND/OR EXTENSIVE INSPECTION OF INTERNAL COMPONENTS OF ANY APPLIANCE, INCLUDING HEATERS AND HEAT EXCHANGERS, IS BEYOND THE SCOPE OF THIS REPORT. THE LOCAL UTILITY COMPANY MAY CONDUCT SUCH AN INSPECTION UPON REQUEST. Our inspection is not a heat engineering or sufficiency review. We suggest you ask the sellers/occupants if any areas of the home do not properly heat or cool. We also suggest you obtain the maintenance history of the furnace as well as receipts for any recent repairs for which a warranty might apply. Clients are encouraged to purchase a home warranty plan, since furnaces can require repair or replacement at any time. Modern furnaces are complicated appliances and should be treated with care. Regular cleaning or replacement of furnace filters is vital to the health of your furnace and can improve the efficiency of attached central air conditioning. We suggest an annual cleaning and safety check by a licensed contractor who is trained in this furnace model. Flammable products should be stored away from the furnace and no fume-producing products such as paint cans should be in the same room. Don't forget that fuel-burning appliances need plenty of oxygen and should not be enclosed without supplying an adequate supply of combustion air. Identifying or testing for the presence of asbestos or other potentially hazardous materials is not within the scope of this report.



Styles & Materials

Number of Heating Systems:

One

Heating Unit Location(s):

Garage

Heating System(s) Service:

Entire Home

Heating System Type(s):

Gas Forced Air Furnace

Energy Source:

Natural Gas

Ductwork:

Insulated

Filter Type:

Disposable

Filter Size:

16x25x1

Heating System Brand:

BRYANT

Items

8.0 Heating Equipment Condition

Comments: Repair or Replace

(1) Rust and streaking observed inside both furnaces burner and blower compartments. This indicates that moisture may have entered inside the units at some point in the past. Recommend further evaluation by a licensed/qualified HVAC contractor for repairs/corrections, as needed, to ensure safe and proper operation.

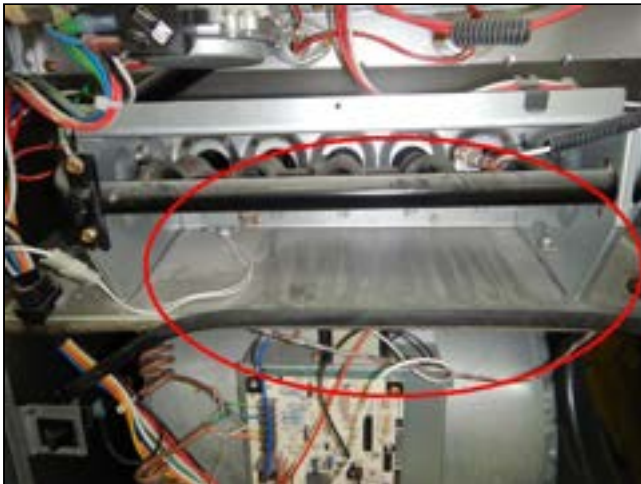
Note: first three images are of the garage furnace and the next three are of the attic furnace.



8.0 Item 1(Picture)



8.0 Item 2(Picture)



8.0 Item 3(Picture)



8.0 Item 4(Picture)

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8.0 Item 5(Picture)



8.0 Item 6(Picture)

(2) The indicator light inside the garage furnace was flashing rapidly at time of inspection. According to the label inside the furnace, this indicates the following: "Line voltage (115VAC) polarity reversed. If twinned, refer to twinning kit instructions."



8.0 Item 7(Picture)



8.0 Item 8(Picture)

(3) The attic furnace shuts off after a few seconds of operation. Inspector was able to reset the furnace by switching it OFF and then back ON again using the disconnect switch above the furnace, however after a few seconds the furnace would shut itself off again. Unable to determine reason. Further evaluation is needed by a licensed/qualified HVAC contractor for repairs/corrections to ensure safe and proper operation.



8.0 Item 9(Picture)

8.1 Energy Source

Comments: Repair or Replace

No sediment trap observed on either heating unit/furnace gas supply piping. Suggest upgrading/installing sediment trap to help prevent sediment in the gas piping from getting into the gas valve or burner area of an appliance and fouling things up.



8.1 Item 1(Picture)



8.1 Item 2(Picture)

8.2 Exhaust Venting

Comments: Repair or Replace

(1) Unable to determine if the flue pipe sections are connected using sheet metal screws. The screws will prevent separation of the flue pipe sections in the event of an earthquake. Sheet metal screws are required in each joint. Recommend review by a licensed/qualified plumber for repair or replacement, as necessary.



8.2 Item 1(Picture)



8.2 Item 2(Picture)

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(2) The garage furnace vent pipe, as it runs through the attic, is in direct contact with insulation and one of the rafters at the roof line. This is a potential fire safety hazard as the vent pipe can reach high temperatures during furnace operation. Recommend review by a licensed/qualified HVAC contractor for corrections to ensure safety.



8.2 Item 3(Picture)



8.2 Item 4(Picture)

8.3 Thermostat

Comments: Serviceable

8.4 Air Filters

Comments: Serviceable

8.5 Distribution / Ducting Systems

Comments: Serviceable

8.6 Automatic Safety Controls

Comments: Repair or Replace

No emergency overflow safety switch observed on the condensate drain lines for either of the furnaces. The switch will shut the furnace off in the event of a condensation overflow. Suggest client consider upgrading as a safety enhancement.



8.6 Item 1(Picture)



8.6 Item 2(Picture)

8.7 Heating System Comments

Comments: Serviceable

The 2015 Bryant gas forced air furnace was tested using normal operating controls and functioned properly at time of inspection. Due to inaccessibility of many of the components of this unit, the review is limited. Holes or cracks in the heat exchanger (if applicable to this type system) are not within the scope of this inspection as heat exchangers are not visible or accessible to the inspector. Unit was operated by the thermostat. As with all mechanical equipment the unit

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can fail at anytime without warning. Inspectors cannot determine future failures. If a detailed inspection is desired, a licensed heating contractor should be consulted prior to closing to ensure proper and safe operation of this unit.



8.7 Item 1(Picture)

9. Air Conditioning System

*Our evaluation of AC system(s) is both visual and functional provided power is supplied to the unit. Identifying or testing for the presence of asbestos products, or other potentially hazardous materials is not within the scope of this report. Judging the adequacy of the cooling efficiency of air conditioning is a subjective evaluation, therefore, we only note a poor condition if, in the inspector's opinion, the adequacy seems less than normal. We urge you to evaluate these systems prior to closing. We are not allowed to install gauges on the cooling system to perform a detailed evaluation due to concerns with refrigerants. This requires a special license and would cost much more than the fees charged for a General Home Inspection. This type of visual inspection does not determine the proper tonnage of A/C equipment needed or if the air conditioning equipment is properly sized for the dwelling or matched by brand or capacity. It is not within the scope of a General Home Inspection to determine unit size, SEER rating or if the evaporator and condenser coil are matched properly on the AC system. If a detailed evaluation is desired an HVAC contractor should be consulted prior to close. Information can be obtained from licensed heating and air conditioning contractors if a more comprehensive inspection is desired. A detailed evaluation of the cooling capacity is beyond the scope of this report. Air conditioners can be damaged if operated in temperatures below 60 degrees or immediately after a cold night. Additionally, some units can be damaged if operated when the breaker or fuses have not been on for at least 12 hours. We do not test units in cold weather nor do we test units that have no power at the time of inspection. Air conditioners should be kept clean and free of debris. Dirty air conditioners and those with restricted air flow because of fin damage, vegetation, etc. can wear out quickly. Winter covers can accelerate corrosion and should not be used unless approved by the manufacturer. The client is encouraged to consult their agent concerning home warranty options as air conditioners can fail at any time and are expensive to repair or replace. We suggest obtaining the maintenance history of air conditioning units and inquiring of the sellers/occupants if any areas of the home do not cool well or are not supplied with air conditioning. You should obtain warranty paperwork, if applicable, and request receipts for any recent repairs. **DISMANTLING AND/OR EXTENSIVE INSPECTION OF INTERNAL COMPONENTS OF ANY APPLIANCE IS NOT WITHIN THE SCOPE OF THIS INSPECTION.***



Styles & Materials

Number of AC Systems:

Two

AC Unit Location(s):

Exterior

AC System(s) Service:

Same as Heating System

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Cooling Equipment Type(s):
Split Air Conditioning System

Cooling Equipment Energy Source:
Electricity

Ductwork:
Same as Heating System

Filter Type:
Same as Heating System

Filter Size:
Same as Heating System

Air Conditioner Brand:
BRYANT

Items

9.0 Cooling and Air Handler Equipment Condition

Comments: Repair or Replace

Debris observed inside the Bryant condenser at the left side of the home. Recommend removal of debris and regular maintenance to ensure proper operation of unit and prevent deterioration.



9.0 Item 1(Picture)



9.0 Item 2(Picture)

9.1 Temperature Difference Measurements

Comments: Serviceable

- The Bryant split air conditioners were activated to check the operation of the motor and the compressor, both of which are in serviceable condition. As a detailed review of the cooling capacity of this unit is beyond the scope of this inspection, we make no warranty as to the system's adequacy.
- A temperature drop was performed across the evaporator coil of the units. When tested, temperature at return register was 68.1 degrees, temperature at supply was 48.3 degrees, a difference of 19.8 degrees which is in the 14 to 22 degree normal operating range. Unit functioned properly when tested and was serviceable at time of inspection.



9.1 Item 1(Picture)



9.1 Item 2(Picture)

9.2 Energy Source

Comments: Repair or Replace

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Missing electric wiring protective insulator observed at the condenser electric disconnect for the condenser at the right side of the home, near the pool equipment. Recommend review by a licensed electrician or HVAC specialist for corrections to enhance safety.



9.2 Item 1(Picture)

9.3 Thermostat

Comments: Comment

Same as Heating System Thermostat.

9.4 Air Filters

Comments: Comment

Same as Heating System air filter.

9.5 Distribution / Ducting Systems

Comments: Comment

Same as Heating System distribution / ducting systems.

9.6 Automatic Safety Controls

Comments: Serviceable

10. Water Heater

Our evaluation of the water heater is both visual and functional provided power and/or fuel is supplied to the unit. Since water heaters are capable of producing scalding temperatures, we suggest you measure your water temperature upon taking occupancy and adjust it to a safe temperature (typically 120 -130 degrees). For further protection, anti-scald faucets are available for sinks, tubs and showers. Due to the possibility of the water heater temperature pressure relief valve leaking after it has been opened, these valves are not tested during the inspection. Manufacturers suggest regular testing to help assure performance. Water heater blankets may void the warranty on some water heaters. Keep all combustibles away from the heater and store no paints or other chemicals in the same room. A spill pan and drain is advised if your heater is located in, adjacent to, or above a finished area. The client is encouraged to consult their agent concerning home warranty options as water heaters can fail at any time and are expensive to repair or replace.

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Styles & Materials

Number of Water Heating Systems:

One

Water Heater Location(s):

Garage

Water Heater Design Type:

Natural Gas

Water Heater Energy Source:

Natural Gas

Water Heater Capacity:

75 Gallon

Water Heater Brand:

BRADFORD-WHITE

Items

10.0 Water Heater Condition

Comments: Repair or Replace

The middle earthquake strap on the water heater is loose. Suggest tightening strap to ensure safety.



10.0 Item 1(Picture)

10.1 Supply Lines

Comments: Repair or Replace

AmeriSpec Inspection Services

(1) Corrosion observed on cold water pipe fitting on top of water heater; no leaks visible at time of inspection. Recommend review by a licensed plumber for repair or replacement, as necessary, prior to close.



10.1 Item 1(Picture)

(2) The cold water shutoff handle is obstructed by the top of the water heater. This is a safety concern as it may prevent you from shutting off the water supply in the event of an emergency. Recommend review by a licensed/qualified plumber for corrections to ensure safety.



10.1 Item 2(Picture)

10.2 Energy Source

Comments: Serviceable

10.3 Flue Venting

Comments: Repair or Replace

AmeriSpec Inspection Services

Some of the flue pipe sections appear to have been connected without using sheet metal screws. The screws will prevent separation of the flue pipe sections in the event of an earthquake. Sheet metal screws are required in each joint. Recommend review by a licensed/qualified plumber for repair or replacement, as necessary.



10.3 Item 1(Picture)



10.3 Item 2(Picture)



10.3 Item 3(Picture)

10.4 Temperature / Pressure Release Valve

Comments: Serviceable

10.5 Overflow Pan / Drain Line

Comments: Serviceable

10.6 Hot Water Temperature

Comments: Serviceable

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The water temperature at time of inspection was 128.8 degrees, which is in the normal operating range of 120 to 130 degrees.



10.6 Item 1(Picture)

11. Kitchen and Built-in Appliances

Our kitchen appliance inspection is visual and operational in nature of the built-in appliances only. Cooking systems are checked for burner operation but not for calibration, timers, special features or cleaning cycles. Built-in dishwashers are run through a full normal wash cycle to determine if the system is free of leaks and excessive corrosion. Please double-check appliance operation just before closing and re-check for secure cabinets, counters and appliances. Upon occupancy, the client should secure any freestanding oven so it cannot tilt forward when weight is applied to the door. (Most ovens come with directions on how to do this.) Individuals have been injured when sitting on or standing on these doors. Clients are advised to purchase a home protection plan because appliances, including new appliances, can fail at any time, including immediately after the inspection. Older appliances (five years or older), of course, are more prone to failure.



Styles & Materials

Cabinet(s):

Wood

Countertop(s):

Quartz

Dishwasher Brand:

THERMADOR

Disposal Brand:

IN SINK ERATOR

Exhaust/Range Hood Brand:

THERMADOR

Range/Oven Brand:

THERMADOR

Built-in Microwave Brand:

Thermador

Refrigerator:

Thermador

Items

11.0 Floors

Comments: Serviceable

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11.1 Walls

Comments: Serviceable

11.2 Ceiling

Comments: Serviceable

11.3 Doors

Comments: Serviceable

11.4 Windows

Comments: Repair or Replace

(1) Missing screen observed. Recommend corrections for proper operation.



11.4 Item 1(Picture)

(2) Residue of a peeled sticker on window glass observed in the kitchen. Recommend review for corrections/clean.



11.4 Item 2(Picture)

11.5 Heat / Cooling Source

Comments: Serviceable

11.6 Receptacles, Switches and Fixtures

Comments: Repair or Replace

AmeriSpec Inspection Services

A Ground Fault Circuit Interrupter (GFCI) is not present under the kitchen sink. Ground Fault Circuit Interrupters (GFCI) may not have been required under the kitchen sink when the home was built. Suggest client consider upgrading with ground fault circuit interrupters (GFCI's) at all receptacles near water sources. Upgrades should be performed by a licensed electrician.



11.6 Item 1(Picture)

11.7 Counters and Cabinets (representative number)

Comments: Serviceable

11.8 Sinks

Comments: Not Inspected

Water filtration system observed under the kitchen island sink. Water filtration system is not within the scope of this inspection, If concerned, recommend consulting with the current owner and/ or a qualified water treatment contractor to determine operations and maintenance requirements for the water treatment system(s) and to verify proper operation.



11.8 Item 1(Picture)

11.9 Plumbing Drains

Comments: Serviceable

11.10 Food Waste Disposer

Comments: Serviceable

11.11 Dishwasher(s)

Comments: Serviceable

11.12 Ranges/Ovens/Cooktops

Comments: Serviceable

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11.13 Range Hood(s)**Comments:** Serviceable**11.14 Microwave Cooking Equipment****Comments:** Serviceable**11.15 Refrigerator****Comments:** Repair or Replace

The refrigerator is serviceable and was inspected to verify that unit is cooling at time of inspection. Freon levels, icemaker operation and other specialty items are beyond the scope of this inspection, recommend consulting sellers for additional information. However, there was no ice in the ice pan, possibly the water source was disconnected. Recommend consult with the seller(s) for more information.



11.15 Item 1(Picture)

12. Bathroom(s)

Our focus in bathrooms is directed at identifying visible water damage and/or problems. We may not always mention common faults such as stuck stoppers or dripping faucets. If considered important, you should check these items independently. Shut-off valves and angle stops under kitchen or bathroom sinks and toilets are not turned or tested during the inspection due to the possibility of causing a leak. All shut-off valves or angle stops should be turned regularly by the homeowner to ensure free movement in case of emergency. Bathrooms require regular maintenance to prevent the possibility of water damage and maintenance should be performed without delay. Since leaks can occur at any time, plumbing should be checked just before closing and then regularly during occupancy. We advise that all floors, tile edges and tub/shower walls be caulked and sealed to prevent moisture penetration. When found soft, you should have checked for leaks and hidden damage. All leaks should be repaired and missing/damaged grouting and caulk should be replaced at once to help prevent future/further damage. Even tile that appears to be in good shape can take on water, so we suggest that you apply a sealant to tiled surfaces upon occupancy. If sluggish or noisy drains are noted, the drain waste vent system should be checked for blockage, damage or other restriction before close. Operating an exterior vented exhaust fan helps to reduce the chances of mold growth and harmful condensation.



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Styles & Materials

Bath Tub / Shower:

- Seperate Shower
- Combined Bath Tub & Shower
- Hydro-Massge Tub

Exhaust Fans:

Fan Only

Countertop(s):

Quartz

Cabinet(s):

Wood

Items

12.0 Floors

Comments: Repair or Replace

(1) Loose/missing grout at several areas observed in the upstairs hall bathroom #2; recommend re-grouting as necessary to prevent water intrusion.



12.0 Item 1(Picture)



12.0 Item 2(Picture)

AmeriSpec Inspection Services

(2) Loose floor tiles at several areas observed in the upstairs hall bathroom #2, suggest corrections to prevent further damage.



12.0 Item 3(Picture)



12.0 Item 4(Picture)

(3) Gap at baseboard observed in upstairs hall bathroom #2. Caulking should be applied around any gaps/voids where necessary, to prevent water intrusion.



12.0 Item 5(Picture)

12.1 Walls

Comments: Serviceable

12.2 Ceiling

Comments: Serviceable

12.3 Doors

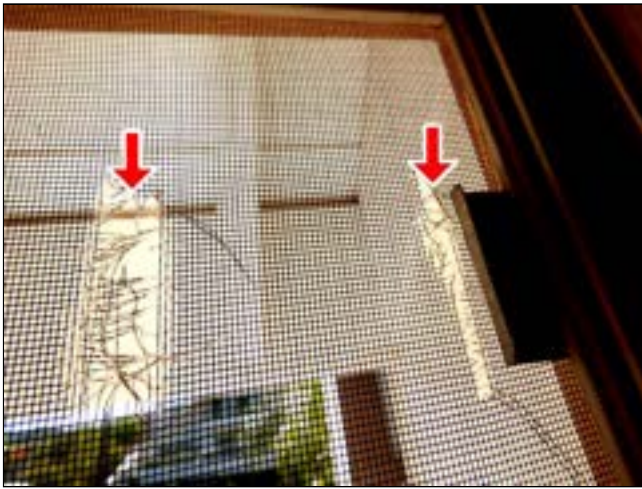
Comments: Serviceable

12.4 Windows

Comments: Repair or Replace

AmeriSpec Inspection Services

Damaged screen observed in the upstairs hall bathroom #2. Recommend corrections for proper operation.



12.4 Item 1(Picture)



12.4 Item 2(Picture)

12.5 Heat / Cooling Source

Comments: Serviceable

12.6 Receptacles, Switches and Fixtures

Comments: Repair or Replace

(1) The black push button marked test on GFCI outlet is loose/damaged observed in upstairs hall bathroom at left sink. Recommend review by a licensed electrician for repair/.replace as necessary to ensure safety.



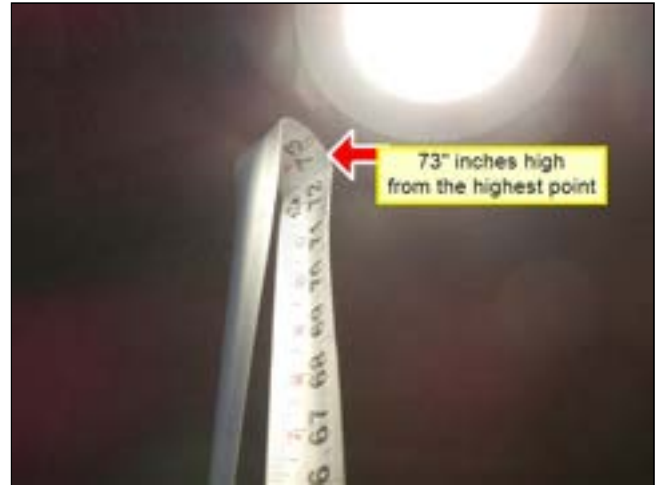
12.6 Item 1(Picture)

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(2) Recessed light fixtures at the shower and bath tub ceilings observed in bathroom #3 (master). The National Electric Code (NEC) from 2011 requires that any part of a light fixture must be a minimum of 8 feet above the highest portion of a shower walls and the zone extends out horizontally 3 feet around the shower floor. The requirement promotes safety. The installed light should also be rated for a moist or wet location. Recommend review by a licensed electrician for correction/replacement to ensure safety.



12.6 Item 2(Picture)



12.6 Item 3(Picture)



12.6 Item 4(Picture)



12.6 Item 5(Picture)



12.6 Item 6(Picture)



12.6 Item 7(Picture)

12.7 Exhaust Fan(s)

Comments: Serviceable

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12.8 Bath Tub**Comments:** Serviceable**12.9 Shower****Comments:** Serviceable**12.10 Sinks****Comments:** Repair or Replace

The levers for the water faucets are out of alignment observed on both sinks in bathroom #3 (master). A qualified licensed plumber should repair or correct as needed.



12.10 Item 1(Picture)



12.10 Item 2(Picture)

12.11 Toilet**Comments:** Serviceable**12.12 Counters and Cabinets****Comments:** Serviceable

13. Laundry Area

The supply hoses to the washer are not disconnected during the inspection, nor are the valves operated. These can leak at any time and should be considered a part of normal maintenance. If the washer and dryer are present, they are not moved to prevent floor damage and the review of the area behind the washer/dryer is limited. It is beyond the scope of the inspection to inspect the washer and dryer. If these appliances are included in the sale of the property, we suggest consulting the sellers as to proper operation prior to close. We suggest that you clean exhaust pipes upon occupancy and then regularly to enhance safety/performance. Water hoses that discharge into laundry tubs can cause contamination by creating a "cross connection" if they discharge below the tub rim. We suggest you keep these elevated above the flood rim of the tub.



Styles & Materials

Dryer Power Source:

Both 240 Volt Electric and Natural Gas

Dryer Vent:

Flexible Metal

Cabinetry:

Wood

Items

13.0 Floors**Comments:** Serviceable**13.1 Walls****Comments:** Serviceable**13.2 Ceiling****Comments:** Serviceable**13.3 Doors****Comments:** Serviceable**13.4 Receptacles, Switches and Fixtures****Comments:** Repair or Replace

(1) A Ground Fault Circuit Interrupter (GFCI) is not present at the laundry room. Ground Fault Circuit Interrupters (GFCI) may not have been required at the laundry room when the home was built. Suggest client consider upgrading with ground fault circuit interrupters (GFCI's) at all receptacles near water sources. Upgrades should be performed by a licensed electrician.



13.4 Item 1(Picture)

AmeriSpec Inspection Services

(2) The 220 outlet was inoperable observed in the laundry room. Recommend review by licensed electrician for repairs/replacement as needed for safety.



13.4 Item 2(Picture)

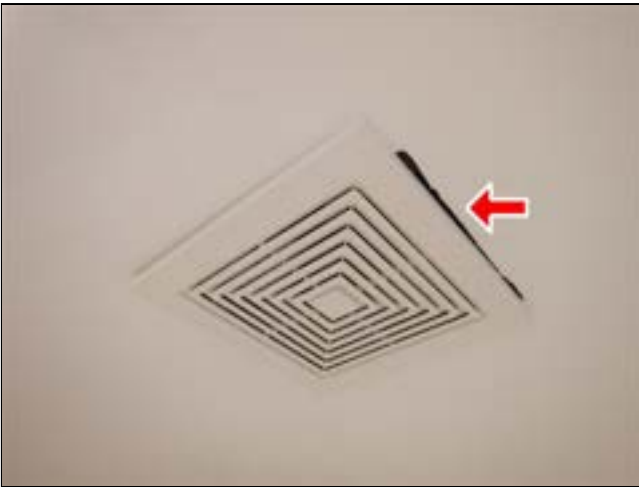
13.5 Clothes Dryer Exhaust Venting

Comments: Serviceable

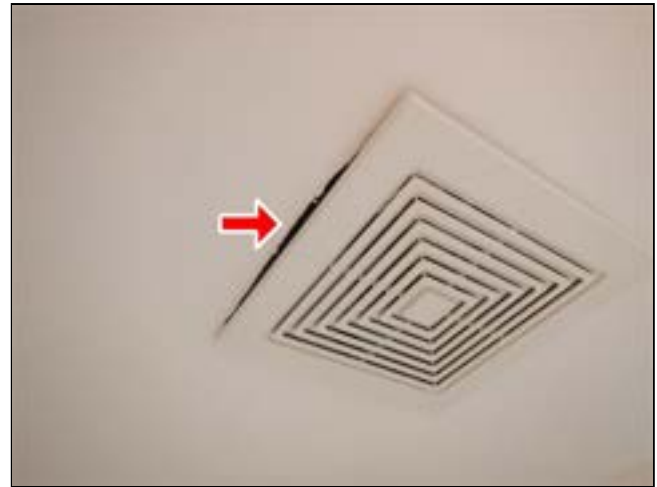
13.6 Exhaust Fan(s)

Comments: Repair or Replace

Exhaust fan cover is smaller than the opening observed in the laundry room. If this is a concern, recommend review for corrections as needed.



13.6 Item 1(Picture)



13.6 Item 2(Picture)

14. Interior Rooms and Areas

Our interior review is visual and evaluated with similar aged homes in mind. Cosmetic considerations and minor flaws such as a torn screen or an occasional cracked window can be overlooked, thus we suggest you double check these items, if concerned. Inspections are limited to visible and/or accessible areas. Personal belongings and furniture restrict access to receptacles, windows, walls, and flooring.

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Styles & Materials

Floor Covering(s):

Tile
Wood

Wall Material(s):

Gypsum Board (Drywall)

Ceiling Material(s):

Gypsum Board (Drywall)

Interior Doors:

Wood
Wood with Glass Pane

Window Type(s):

Dual Pane

Types of Fireplaces / Wood Stove:

Gas Igniter

Operable Fireplaces:

Two

Items

14.0 Floors

Comments: Serviceable

14.1 Walls

Comments: Repair or Replace

Crack and minor damage observed at the corner of the wall to the left of the family room (when facing the projector), near the ceiling. Recommend review by a licensed/qualified contractor for repairs.



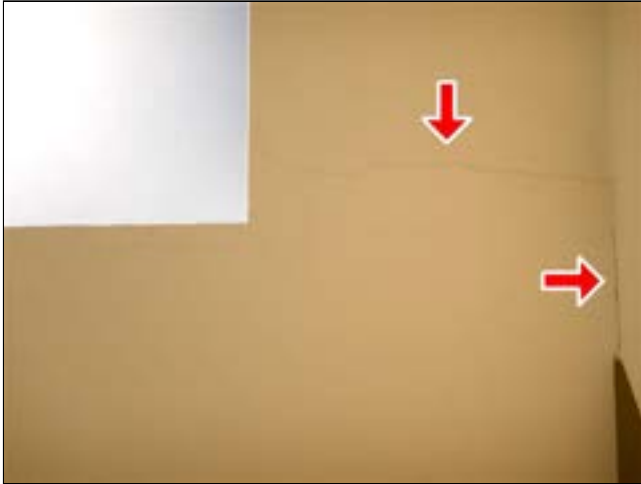
14.1 Item 1(Picture)

14.2 Ceilings

Comments: Serviceable

AmeriSpec Inspection Services

Cracks observed on ceiling next to the skylight above the stairway. Recommend review by a licensed/qualified contractor for repairs, as needed.



14.2 Item 1(Picture)

14.3 Doors (representative number)

Comments: Serviceable

14.4 Closet Doors (representative number)

Comments: Serviceable

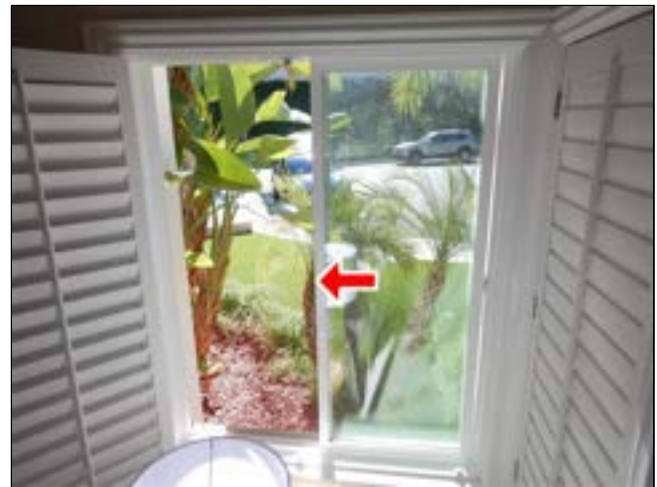
14.5 Windows (representative number)

Comments: Repair or Replace

Missing screens observed at several windows in the living room. Recommend corrections for proper operation.



14.5 Item 1(Picture)



14.5 Item 2(Picture)

14.6 Heat / Cooling Source

Comments: Repair or Replace

AmeriSpec Inspection Services

The supply registers above the family room do not appear to be supplying conditioned air. this indicates a possible blocked or disconnected duct. Recommend further evaluation by a licensed/qualified HVAC contractor for repairs/ corrections.



14.6 Item 1(Picture)

14.7 Receptacles, Switches and Fixtures

Comments: Serviceable

14.8 Fireplaces and Woodstoves

Comments: Repair or Replace

Unable to operate the gas valve at the living room fireplace due to key for fireplace not present and inspector's keys did not fit. Recommend consult with seller for additional information and suggest verifying operability prior to close.



14.8 Item 1(Picture)

14.9 Stairways

Comments: Serviceable

15. Bedroom(s)

Our bedroom review is visual and evaluated with similar aged homes in mind. Inspections are limited to visible and/or accessible areas. Bedroom windows should be kept in good repair in the event they are needed for an emergency exit. We suggest making sure that they always operate freely (without use of force or a key or tool) and place furniture so as to keep windows accessible for emergency use. Older homes may have windows that do not meet current size and height safety standards for emergency exit. Keeping them accessible and in good operating condition enhances their safety. Providing an escape ladder is a recommended safety enhancement for all upper level bedrooms. Rooms used for sleeping should have functional exits to both the interior and exterior of the home. Personal belongings and furniture restrict access to receptacles, windows, walls, and flooring. These areas should be reviewed during your final walk through to reveal hidden or concealed damage.

AmeriSpec Inspection Services



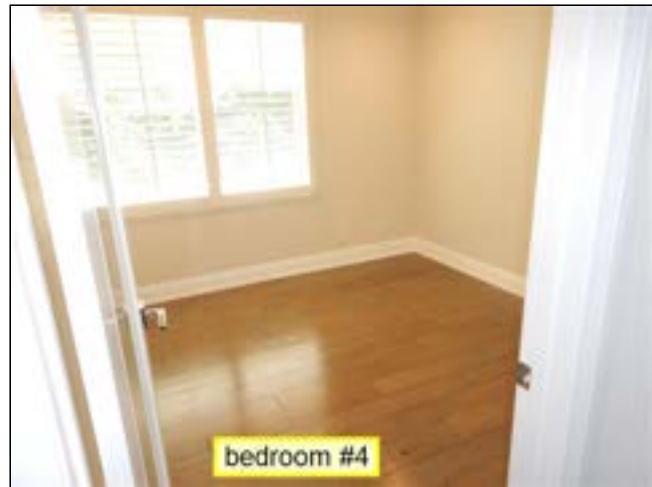
bedroom #1 (master)



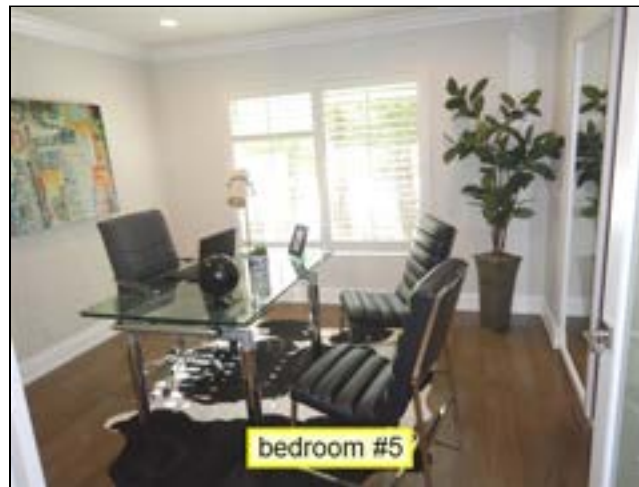
bedroom #2



bedroom #3



bedroom #4



bedroom #5

Styles & Materials

Number of Bedrooms:

Five

Floor Covering(s):

Wood

Wall Material(s):

Gypsum Board (Drywall)

Ceiling Material(s):

Gypsum Board (Drywall)

Interior Doors:

Wood with Glass Panel

Window Type(s):

Dual Pane Windows

Items

15.0 Floors

Comments: Repair or Replace

AmeriSpec Inspection Services

The bedroom #2 wood floors need to be refinished. Primarily a cosmetic concern. Recommend review for refinishing as necessary.



15.0 Item 1(Picture)

15.1 Walls

Comments: Serviceable

15.2 Ceilings

Comments: Serviceable

15.3 Doors (representative number)

Comments: Serviceable

15.4 Closet Doors (representative number)

Comments: Serviceable

15.5 Windows (representative number)

Comments: Repair or Replace

Window screens are missing in all the bedrooms. Recommend corrections for proper operation.



15.5 Item 1(Picture)



15.5 Item 2(Picture)

AmeriSpec Inspection Services



15.5 Item 3(Picture)



15.5 Item 4(Picture)



15.5 Item 5(Picture)

15.6 Heat / Cooling Source**Comments:** Serviceable**15.7 Receptacles, Switches and Fixtures****Comments:** Repair or Replace

Recessed light fixture in the bedroom #1 (master) was inoperative at time of inspection. Possible spent bulb. Suggest client verify fixture for proper operation prior to closing.



15.7 Item 1(Picture)

AmeriSpec Inspection Services

15.8 Fireplaces and Woodstoves**Comments:** Repair or Replace

(1) Unable to operate the gas for the fireplace in the bedroom #1 (master) due to the gas key was missing and our gas key did not fit key hole. Suggest consulting with sellers as to any issues with this system prior to close to ensure safe and proper operation.



15.8 Item 1(Picture)



15.8 Item 2(Picture)

(2) Debris/Creosote build-up was observed in the fireplace located in the bedroom #1 (master). Creosote is a naturally produced flammable by-product of combustion. Its presence is a limiting factor on a visual review. We suggest having cleaned and inspected by a fireplace and chimney specialist to assure safe operation prior to close.



15.8 Item 3(Picture)



15.8 Item 4(Picture)

AmeriSpec Inspection Services



15.8 Item 5(Picture)

16. Attic

Our evaluation of the attic is limited to lighting, personal storage and accessibility. If an attic is heavily insulated, the inspector will have a difficult time accessing and reviewing ceiling joists, electrical wiring, plumbing, ducting, etc. Water stains around roof penetrations such as chimneys, plumbing, and vents are very common. It is usually impractical to determine if these stains are active unless they are leaking at the time of inspection thus when stains are present further monitoring is advised. Viewing during a rainstorm would increase the chances of determining whether leaks exist or the current status of staining. Older roofs are, of course, more prone to water infiltration but new roofs can develop leaks as well. Regular monitoring and maintenance of all roofs is advised. We suggest checking roof surfaces each spring and fall and after each severe storm. Increasing insulation in the attic is one of the best ways to improve the energy efficiency of a home and to reduce the costs of heating and cooling. Most homes we view can benefit from additional insulation. The Department of Energy website (<http://www.eere.energy.gov/>) can help you to determine recommended upgrades and the payback period for insulation improvements in your geographical area.



Styles & Materials

Method Used to Inspect Attic:

Walked

Attic Access Type:

Attic Hatch

Attic Insulation:

Batt

Ventilation:

Passive Vents

Items

16.0 Attic Access
Comments: Serviceable

AmeriSpec Inspection Services

The attic access hatch is damaged. Recommend review for repair/replace, as needed.



16.0 Item 1(Picture)

16.1 Attic Framing

Comments: Repair or Replace

(1) One of the rafters in the attic does not appear to be secured properly; the nails don't penetrate all the way through. Recommend review by a licensed/qualified contractor for repairs/corrections.



16.1 Item 1(Picture)

AmeriSpec Inspection Services

(2) Cracks observed on some of the framing members in the attic. Recommend review by a licensed/qualified contractor for repairs, as needed.



16.1 Item 2(Picture)



16.1 Item 3(Picture)



16.1 Item 4(Picture)

16.2 Attic Sheathing

Comments: Repair or Replace

AmeriSpec Inspection Services

Dry stains observed on roof sheathing, noted around the garage furnace vent pipe where it passes through the attic at the roof line. This indicates that moisture may have been present in this area at some point in the past. Unable to determine how old the stains are. Recommend further evaluation by a licensed/qualified contractor for corrections, as necessary.



16.2 Item 1(Picture)

16.3 Attic Insulation

Comments: Repair or Replace

Insulation coverage of the attic walls is partial. Recommend adding additional insulation.



16.3 Item 1(Picture)



16.3 Item 2(Picture)

16.4 Attic Ventilation

Comments: Serviceable

16.5 Electrical Wiring, Switches and Fixtures

Comments: Repair or Replace

AmeriSpec Inspection Services

The bulb for the attic light is missing. Recommend replacing to ensure safety when entering the attic.



16.5 Item 1(Picture)

16.6 Ductwork

Comments: Serviceable

There is a disconnected ductwork connection in the attic. Possibly no longer in use. The ductwork connection is approximately above bedroom #2. Recommend consult with seller for more information or further evaluation by a licensed/qualified HVAC contractor, as needed.



16.6 Item 1(Picture)

16.7 Attic Comments

Comments: Repair or Replace

AmeriSpec Inspection Services

(1) Evidence of termite infestation observed in the attic. Per seller's agent, a pest control expert has already addressed the issue and provided clearance. Recommend consult with seller for additional information.



16.7 Item 1(Picture)



16.7 Item 2(Picture)



16.7 Item 3(Picture)



16.7 Item 4(Picture)



16.7 Item 5(Picture)



16.7 Item 6(Picture)

AmeriSpec Inspection Services

(2) Rodent droppings observed in the attic. Recommend review by a licensed/qualified pest control expert for corrections.



16.7 Item 7(Picture)

17. Pool Equipment & Area

Pool/Spa inspections consist of a visual and operational test of the items listed below. Items, components, or systems not listed are not included in this inspection. It is not a warranty, guarantee, or certification on the pool/spa or its equipment. It is not a code compliance inspection nor are manufacturers' specifications for installation, operation, or repairs a part of this report. This pool/spa report is a visual inspection and operational test of the 'above ground' equipment only as listed in our Inspection Agreement. Inspection of pool/spa surfaces for defects, cracks, holes, damage, or deterioration is not within the scope of this inspection. All underground or concealed equipment, including all plumbing and electrical lines that are not accessible or visible to the inspector, as well as all underground leaks, are excluded from this report. As with all mechanical equipment, it can fail at any time without notice. Inspectors cannot determine future failures. All maintenance and repairs should be performed by a licensed/qualified pool/spa specialist to ensure safety.

By today's safety standards, several safeguards are required to prevent accidental drowning. It is strongly recommended to install self-closing and self-latching devices on all doors/gates with direct access to the pool/spa area. These doors/gates should swing away from the pool/spa area and have a release mechanisms that must be at least 54 inches above the floor/deck or 60 inches above the ground. Enclosures (fences) must be a minimum height of 60 inches, with a maximum vertical clearance from the ground to the bottom of the same enclosure of 2 inches. Any gaps or voids in the enclosure shall not allow the passage of a sphere equal to or greater than 4 inches. Outside surfaces of these enclosures and fences must be free of protrusions that would serve as handholds or footholds that could enable a child to climb over. Additionally, doors and windows of the residence which lead directly to the pool/spa should have an exit alarm capable of providing a sound level of not less than 85 dBA. Client is advised strongly to consult with a swimming pool contractor or the local building department for all details and additional information about safety requirements that apply to this residence prior to closing on the property.



Styles & Materials

Vessel / Shell:

Gunite

Decking / Coping:

Concrete

Walkways:

Paver / Tile

AmeriSpec Inspection Services

Dive Board / Pool Slide:

NONE

Steps / Handrails:

STEPS

Fences / Gates:

Metal

Electrical:

GFCI protection present

Pool Light:

GFCI protection

Receptacles:

GFCI protection present

GFCI:

GFCI(protection present)

Heater:

Gas shut off valve provided

Filter System:

Diatomaceous Earth Filter

Pump:

Circulation

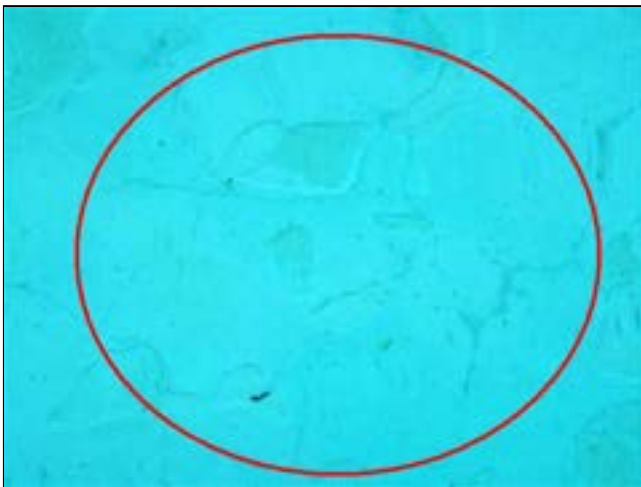
Spa jet

Items

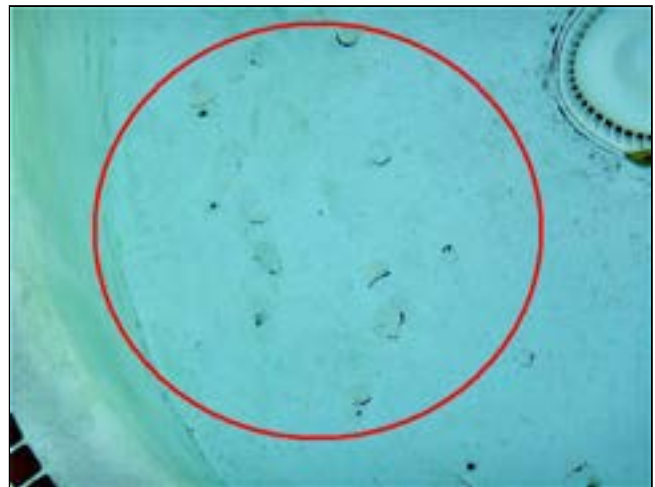
17.0 Vessel / Shell

Comments: Repair or Replace

(1) Surface deterioration observed at several areas of the pool/spa. Recommend review by a licensed qualified professional for repair or replacement, as necessary.



17.0 Item 1(Picture)



17.0 Item 2(Picture)



17.0 Item 3(Picture)

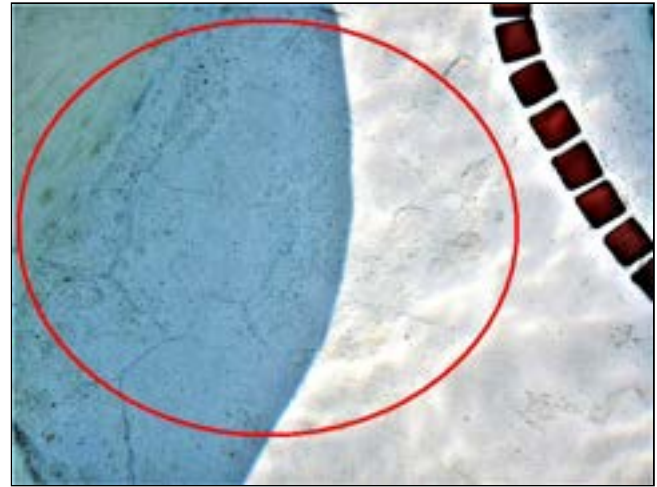


17.0 Item 4(Picture)

AmeriSpec Inspection Services



17.0 Item 5(Picture)



17.0 Item 6(Picture)

(2) Our company does not inspect pool for leaks or seepage. Only components readily accessible are inspected.

17.1 Decking / Coping

Comments: Repair or Replace

Gaps/voids observed around the joints between the pool coping and pool deck. Recommend gaps/voids should be sealed to provide a uniform watertight seal, further review by a licensed pool specialist for repairs.



17.1 Item 1(Picture)



17.1 Item 2(Picture)

17.2 Pool Drains

Comments: Repair or Replace

Pool and spa drainage (outlet) shall comply with Chapter 3 of the Uniform Swimming Pool Spa and Hot Tub standard installation requirements. Outlets less than 12 inches across shall be covered with anti-entrapment grates that cannot be removed except with a use of tools. Slots or openings in the grates or similar protective devices shall not exceed $\frac{1}{2}$ inch in the smallest dimension and shall be of a shape, area and arrangement that would prevent physical entrapment and would not pose any suction hazards. Anti-entrapment covers are required for new pools and spas, structural remodeling of an existing pool or spa, and for an existing pool or spa whenever a building permit is issued for the remodeling of a single family dwelling. For additional safety information client should consider reviewing the United States Consumer Products Safety Commissions documents. This document may be downloaded from the following website: <http://www.cpsc.gov/PageFiles/103057/poolspadraft.pdf>

17.3 Walkways

Comments: Serviceable

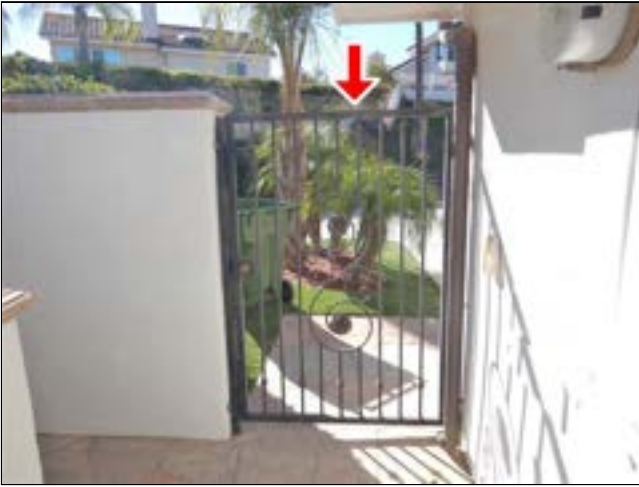
17.4 Steps / Handrails

Comments: Serviceable

AmeriSpec Inspection Services

17.5 Fences / Gates**Comments:** Repair or Replace

(1) The self-closing device or gate hardware needs adjustment or repair to properly close completely and maintain the intended safety enhancement to prevent pool access by small or unattended children.



17.5 Item 1(Picture)



17.5 Item 2(Picture)

(2) Missing auto-closer. Client should consider installing a self-closer with automatic latch as a safety enhancement to prevent pool access by small or unattended children.



17.5 Item 3(Picture)



17.5 Item 4(Picture)

17.6 Pool Barrier**Comments:** Repair or Replace

AmeriSpec Inspection Services

No pool barrier present, suggest installing pool barrier to ensure child safety. *The top of the barrier shall be at least 60 inches (1,530 mm) above grade measured on the side of the barrier that faces away from the swimming pool. The maximum vertical clearance between grade and the bottom of the barrier shall be 2 inches (51 mm) measured on the side of the barrier that faces away from the swimming pool. Where the top of the pool structure is above grade, the barrier is authorized to be at ground level or mounted on top of the pool structure, and the maximum vertical clearance between the top of the pool structure and the bottom of the barrier shall be 4 inches (102 mm). The enclosure shall isolate the swimming pool or spa from the private single-family home.*



17.6 Item 1(Picture)

17.7 Doors and Windows

Comments: Repair or Replace

All doors (including the garage side door) and windows with direct access to the pool through that wall shall be equipped with an alarm which produces an audible warning when the door or window and/or its screen, if present, are opened. The alarm shall be listed and labeled in accordance with UL 2017. The deactivation switch shall be located at least 54 inches (1372 mm) above the threshold of the door.



17.7 Item 1(Picture)



17.7 Item 2(Picture)



17.7 Item 3(Picture)

17.8 Electrical

Comments: Repair or Replace

(1) Open junction box observed resting on the floor at the pool equipment area. Recommend review by a licensed pool specialist or licensed contractor for corrections to ensure safety.



17.8 Item 1(Picture)

(2) The pool pump is not bonded/grounded observed, recommend extending the bond wire to the pump. Review for corrections/repair as a safety enhancement.



17.8 Item 2(Picture)



17.8 Item 3(Picture)



17.8 Item 4(Picture)

17.9 Pool Light**Comments:** Repair or Replace

Spa light inoperable at time of inspection, possibly due to burnt bulbs. Client is advised to verify operability prior to close.



17.9 Item 1(Picture)

17.10 Receptacles**Comments:** Serviceable

GFCI protection observed for safety.

17.11 GFCI**Comments:** Serviceable

GFCI protection observed for safety.

17.12 Heater**Comments:** Repair or Replace

AmeriSpec Inspection Services

Pool heater was Inoperable at time of inspection. Recommend review by a licensed pool specialist contractor or pool equipment specialist for repairs or replace as necessary, prior to close.



17.12 Item 1(Picture)

17.13 Filter System

Comments: Repair or Replace

Leak observed at filter system around the o-ring, a pool/spa specialist is needed for maintenance/repairs be performed, prior to close.



17.13 Item 1(Picture)

17.14 Pump

Comments: Repair or Replace

AmeriSpec Inspection Services

Wet floor observed under the pump/motor. Suggest further review by a qualified pool specialist for repairs/ replacement as needed.



17.14 Item 1(Picture)

17.15 Misc. Pool Equipment

Comments: Repair or Replace

The air blower for the SPA runs for a few minutes then stops. Recommend further evaluation by a licensed pool specialist contractor or pool equipment specialist for review and make the necessary repairs/corrections or replace as necessary.



17.15 Item 1(Picture)

17.16 Timer System

Comments: Repair or Replace

AmeriSpec Inspection Services

The timer interior wiring insulator/guard is missing. This is a safety concern. Suggest further review by a qualified licensed electrician for repairs/replacement as needed to ensure safety.



17.16 Item 1(Picture)

17.17 Pool Comments

Comments: Repair or Replace

- (1) The original Pool Safety Act was passed in 1996 to address residential pool drowning. It required all new swimming pools constructed at single-family homes be equipped with either a permanent fence, a pool cover, exit alarms or self-closing devices on all doors providing access to the pool, or another safety feature providing as least as much protection as the specified four. The act was amended in 2006 to reflect the availability of two additional drowning-prevention features: removable mesh fencing and pool alarms that sound when a person enters the water.
- (2) Pool skimmer floating weir door is detached observed. Recommend review by a licensed pool specialist for repairs/corrections for proper operations.



17.17 Item 1(Picture)